

## **RESOLUTION NO. 26-2188**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF MIAMI LAKES, FLORIDA, PURSUANT TO SUBSECTION 13-305(f)(1) OF THE TOWN OF MIAMI LAKES LAND DEVELOPMENT CODE; PERTAINING TO A VARIANCE FROM SECTION 13-786 TO ALLOW A FOUR (4) STORY SELF STORAGE BUILDING WHERE THE CODE ALLOWS ONLY TWO. PERTAINING TO A REQUEST IN ACCORDANCE WITH SECTION 13-304(h) OF THE TOWN OF MIAMI LAKES LAND DEVELOPMENT CODE FOR SITE PLAN APPROVAL; ALL BEING SUBMITTED FOR THE PROPERTY LOCATED AT 14180 NW 77<sup>th</sup> CT., MIAMI LAKES, FL 33016, AS PROVIDED AT EXHIBIT "A", MIAMI LAKES, FLORIDA, FOLIO NO. 32-2022-006-0160, AS DESCRIBED AT EXHIBIT "B"; PROVIDING FOR INCORPORATION OF RECITALS; PROVIDING FINDINGS; PROVIDING FOR APPEAL; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, pursuant to Subsection 13-304 of the Town of Miami Lakes ("Town") Land Development Code ("LDC"), Stor-All Acquisitions, LLC. (the "Applicant") applied to the Town for approval of a Site Plan, entitled "Proposed New Stor-All Building" dated June 10, 2026, consisting of 15 sheets, as prepared by Felix Pardo, a copy of the Site Plan (the "Site Plan") being attached hereto as Exhibit "A", for property located at 14180 NW 77<sup>th</sup> Ct., Miami Lakes, FL, 33016, bearing Miami-Dade Tax Folio No. 32-2022-006-0160, and legally described on the survey as provided in Exhibit "B" ("Property"), and containing approximately 1.84 acres of land; and

**WHEREAS**, pursuant to Section 13-305(f)(1) of the Town's LDC, the Applicant is requesting relief from Section 13-786 to increase the maximum permitted height from two (2) stories to four (4) stories; and

**WHEREAS**, in accordance with Section 13-309 of the Town LDC, proper notice was

mailed to the appropriate property owners of record, notice was posted at the property, and duly advertised in the newspaper; for a quasi-judicial public hearing on the Variance Requests and Site Plan as noticed for Tuesday, July 21, 2026, at 6:30 P.M. at Town Hall, 6601 Main Street, Miami Lakes, Florida; and all interested parties had the opportunity to address their comments to the Town Council; and

**WHEREAS**, on July 21, 2026, at the properly noticed quasi-judicial hearing held by the Town Council of the Town of Miami Lakes, after hearing testimony from staff, the applicant, the public, and other testimony, both verbal, and written, as incorporated herein by reference, the Town Council determined that the requested variance meets the criteria set forth by section 13-305(f)(1), and determined the submitted site plan meets the criteria of section 13-304(h) for approval; and

**WHEREAS**, the Town Council now desires to approve the Applicant's Variance and Site Plan requests.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF MIAMI LAKES, FLORIDA, AS FOLLOWS:**

Section 1. Recitals. The foregoing recitals are true and correct and are incorporated herein by this reference.

Section 2. Findings. In consideration of all the submitted evidence, both verbal and written, as provided at the July 21, 2026 hearing, the Town Council finds, in accordance with Section 13-305(f)(1) of the Town's LDC, that the following variance requests:

Sec. 13-786 to allow the new construction of a four-story self-storage facility are in conditional compliance with the following criteria:

- (1) *Practical difficulty*. The application may be considered under the requirements of practical difficulty as set forth herein. Any approval or approval with modifications and/or conditions, of a variance based on practical difficulty shall require a majority vote of the members of the Town Council or designated Town board present at the meeting.

In order to authorize any variance application from the requirements of this chapter on the basis of practical difficulty, the Town Council or designated Town board shall balance the rights of property owners in the Town as a whole against the need of the individual property owner to deviate from the requirements of this chapter based on an evaluation of the factors below. All of the factors should be considered and given their due weight; however, no single factor is dispositive:

- a. Whether the Town has received written support of the specifically identified variance requests from adjoining property owners;
- b. Whether approval of the variance would be compatible with development patterns in the Town;
- c. Whether the essential character of the neighborhood would be preserved;
- d. Whether the variance can be approved without causing substantial detriment to adjoining properties;
- e. Whether the variance would do substantial justice to the property owner as well as to other property owners justifying a relaxation of this chapter to provide substantial relief;
- f. Whether the plight of the applicant is due to unique circumstances of the property and/or applicant which would render conformity with the strict requirements of this chapter unnecessarily burdensome; and
- g. Whether the special conditions and circumstances which exist are the result of actions beyond the control of the applicant;

and,

in consideration of all the submitted evidenced, both verbal and written, as provided at the July 21, 2026 hearing, the Town Council finds, in accordance with Section 13-304(h), that the Application conditionally meets the criteria for Site Plan Approval which are as follows:

- (1) In what respects the plan is or is not consistent with the Comprehensive Plan, the purpose and intent of the zoning district in which it is located and any design or planning studies adopted by the Town Council that include recommendations applicable to the design of the site under review.
- (2) In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.
- (3) In what respects the plan is or is not in conformance with Town code requirements including:
  - a. The design and construction of streets, utility facilities and other essential services as may be required by the Town or other governmental agencies.

- b. Internal and external circulation, including vehicular, bicycle and pedestrian. Circulation systems shall serve the needs of the development and be compatible with, and functionally integrate with, circulation systems outside the development. Vehicular traffic from non-residential development shall be routed so as to minimize impacts on residential development.
- (4) In what respects the plan is or is not consistent with good design standards in respect to all external relationships including but not limited to:
- a. Design and architectural standards as provided at section 13-311.
  - b. Disposition of open space, use of screening or buffering where appropriate to provide a logical transition to existing, permitted or planned uses on adjoining properties.
  - c. Landscaping that enhances architectural features, strengthens vistas and important axes, provides shade, blocks noise generated by major roadways and intense-use areas and, to the maximum extent practicable, preserves existing trees on-site.
  - d. All outdoor lighting, signs or permanent outdoor advertising or identification features shall be designed as an integral part of and be harmonious with building design and the surrounding landscape.
  - e. Service areas shall be screened and so located as to minimize or eliminate visibility, to the greatest extent possible, from the public right-of-way and other properties.
  - f. Design of the site shall ensure adequate access for emergency vehicles and personnel.
  - g. Design of the site shall utilize strategies to provide for the conservation of energy and natural resources, including water.
- (5) In what respects the plan is or is not in conformance with the Town policy in respect to sufficiency of ownership, guarantee for completion of all required improvements and the guarantee for continued maintenance.

Section 3., Approval of Variance. Pursuant to Section 13-305(f)(1) of the Town's LDC, the proposed Variance identified at Section 2 of this Resolution as so associated with plans entitled "Miami Lakes Storage" dated June 10, 2026, consisting of 15 sheets, as prepared by Felix Pardo, a copy of the Site Plan (the "Site Plan") being attached hereto as Exhibit "A", is hereby Approved:

Section 4. Approval of Site Plan. Pursuant to Section 13-304(h), the proposed Site Plan entitled "Proposed New Stor-All Building" dated June 10, 2026, consisting of 15 sheets, as

prepared by Felix Pardo a copy of the Site Plan (the "Site Plan") being attached hereto as Exhibit "A", is hereby Approved with the following conditions:

1. The project shall be developed in substantial compliance with the approved Site Plan.
2. Prior to the issuance of a building permit authorizing any construction, all required impact fees, including \$69,671.24 in Mobility Fees, must be paid in full.
3. Prior to permitting, all civil and landscape plans must be finalized and in substantial compliance with the Site Plan. All comments issued to date shall be addressed to the satisfaction of the Administrative Official.
4. Prior to permitting, the project shall secure all approvals for water and sewer and shall receive approval from the Miami-Dade Fire Rescue Department.
5. The Applicant shall obtain a Certificate of Use (CU), upon compliance with all the terms and conditions of this approval, the same subject to cancellation by the Town upon violation of any of the conditions. Business tax receipt shall be obtained if applicable.
6. The Applicant shall obtain all required building permits, within one (1) year of the date of this approval. If all required building permits are not obtained or an extension granted not within the prescribed time limit, this approval shall become null and void.
7. Compliance with all other applicable laws not specifically identified herein.
8. All fees associated with this request that are owed to the Town be paid in full prior to issuance of development order.

Section 5. Violation of Conditions. Failure to adhere to the terms and conditions of this Resolution shall be considered a violation of the Town LDC and persons found violating the conditions shall be subject to the penalties prescribed by the Town LDC, including but not limited to, the revocation of any of the approval(s) granted in this Resolution. The Applicant understands and acknowledges that it must comply with all other applicable requirements of the Town LDC before it may commence operation, and that the foregoing approval in this Resolution may be revoked by the Town at any time upon a determination that the Applicant is in non-compliance with the Town LDC.

Section 6. Appeal. In accordance with Section 13-310 of the Town LDC, the Applicant, or any affected party may seek review of development orders of the Town Council by the filing of an appeal or writ of certiorari in the appropriate court as prescribed in the Florida

Rules of Appellate Procedure.

Section 7. Final Order.

**This is a Final Order.**

Section 8. Effective Date. This Resolution shall become effective immediately upon adoption hereof.

**\*\*\*THIS PORTION HAS BEEN LEFT PURPOSEFULLY BLANK\*\*\*\*\***

The foregoing resolution was offered by Mayor Dieguez who moved its adoption. The motion was seconded by Councilmember Fernandez and upon being put to a vote, the vote was as follows:

|                                     |     |
|-------------------------------------|-----|
| Mayor Joshua Dieguez                | Yes |
| Vice Mayor Bryan Morera             | Yes |
| Councilmember Juan Carlos Fernandez | Yes |
| Councilmember Angelo Cuadra Garcia  | Yes |
| Councilmember Ray Garcia            | Yes |
| Councilmember Steven Herzberg       | Yes |
| Councilmember Alex Sanchez          | Yes |

Passed and Adopted this 21st day of July 2026.

  
\_\_\_\_\_  
Joshua Dieguez  
Mayor

Attest:

  
\_\_\_\_\_  
Gina M. Inguanzo  
Town Clerk

Approved as to form and legal sufficiency:

  
\_\_\_\_\_  
Lorenzo Cobiella  
Gastesi, Lopez Mestre and Cobiella, PLLC  
Deputy Town Attorney

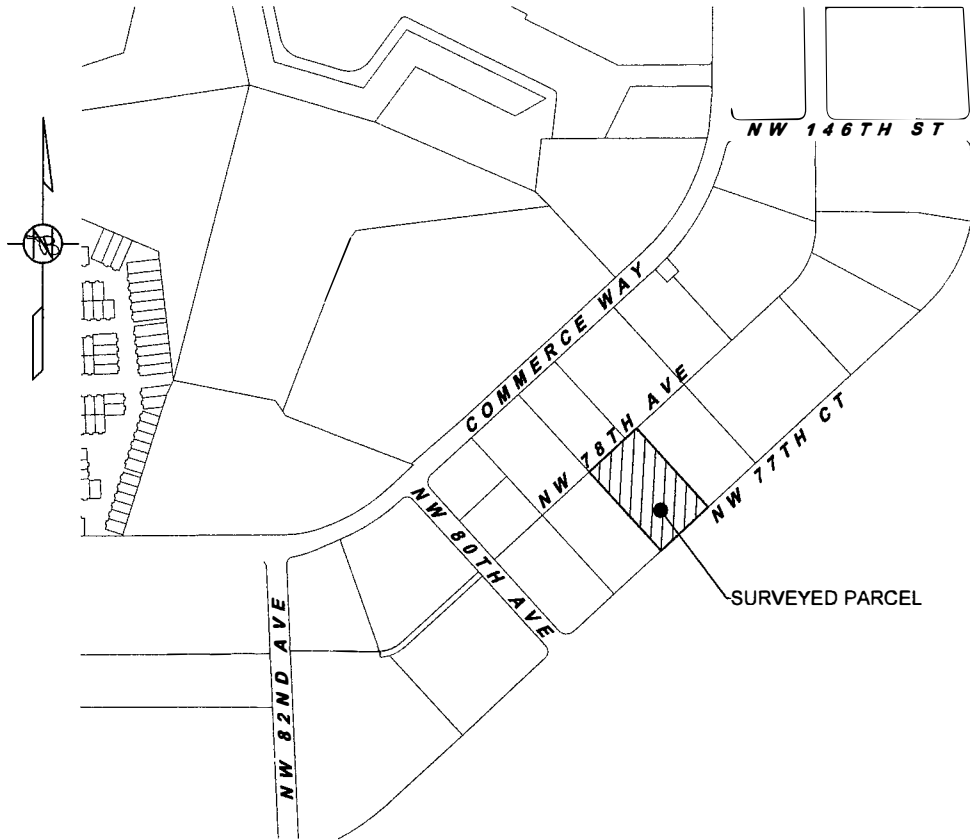
## EXHIBIT A SURVEY

## EXHIBIT B SITE PLAN

# BOUNDARY SURVEY ALTA/NSPS LAND TITLE SURVEY

| TREE LIST |       |                 |            |                 |
|-----------|-------|-----------------|------------|-----------------|
| POINT #   | NAME  | SCIENTIFIC NAME | HEIGHT (') | TRUNK DIAM. (") |
| 172       | Oak   | Quercus         | 30         | 14              |
| 173       | Palm  | Sabal Palmetto  | 15         | 10              |
| 174       | Palm  | Sabal Palmetto  | 15         | 12              |
| 175       | Palm  | Sabal Palmetto  | 15         | 12              |
| 176       | Oak   | Quercus         | 18         | 12              |
| 177       | Oak   | Quercus         | 15         | 10              |
| 182       | Oak   | Quercus         | 15         | 12              |
| 204       | Oak   | Quercus         | 25         | 14              |
| 205       | Oak   | Quercus         | 30         | 14              |
| 206       | Oak   | Quercus         | 20         | 14              |
| 207       | Ficus | Ficus Carica    | 25         | 15              |
| 208       | Oak   | Quercus         | 30         | 20              |
| 209       | Oak   | Quercus         | 35         | 14              |
| 210       | Oak   | Quercus         | 20         | 22              |
| 211       | Oak   | Quercus         | 35         | 18              |
| 212       | Oak   | Quercus         | 18         | 12              |
| 213       | Oak   | Quercus         | 30         | 20              |
| 231       | Oak   | Quercus         | 15         | 12              |
| 233       | Oak   | Quercus         | 14         | 8               |
| 234       | Oak   | Quercus         | 14         | 10              |
| 235       | Palm  | Sabal Palmetto  | 14         | 15              |
| 236       | Oak   | Quercus         | 10         | 5               |
| 237       | Oak   | Quercus         | 20         | 14              |
| 238       | Oak   | Quercus         | 40         | 20              |
| 239       | Oak   | Quercus         | 12         | 8               |
| 240       | Oak   | Quercus         | 12         | 10              |
| 241       | Oak   | Quercus         | 12         | 12              |
| 252       | Oak   | Quercus         | 12         | 5               |
| 253       | Oak   | Quercus         | 25         | 18              |
| 318       | Ficus | Ficus Carica    | 20         | 14              |
| 319       | Ficus | Ficus Carica    | 30         | 18              |

| TREE LIST |       |                 |            |                 |
|-----------|-------|-----------------|------------|-----------------|
| POINT #   | NAME  | SCIENTIFIC NAME | HEIGHT (') | TRUNK DIAM. (") |
| 320       | Ficus | Ficus Carica    | 40         | 22              |
| 321       | Oak   | Quercus         | 20         | 14              |
| 322       | Oak   | Quercus         | 20         | 12              |
| 323       | Ficus | Ficus Carica    | 45         | 20              |
| 324       | Oak   | Quercus         | 18         | 12              |
| 325       | Oak   | Quercus         | 40         | 18              |
| 326       | Ficus | Ficus Carica    | 50         | 27              |
| 327       | Oak   | Quercus         | 45         | 25              |
| 339       | Oak   | Quercus         | 45         | 20              |
| 340       | Oak   | Quercus         | 35         | 16              |
| 341       | Oak   | Quercus         | 30         | 16              |
| 342       | Oak   | Quercus         | 15         | 10              |
| 343       | Oak   | Quercus         | 15         | 12              |
| 344       | Oak   | Quercus         | 18         | 14              |
| 345       | Oak   | Quercus         | 18         | 15              |
| 346       | Oak   | Quercus         | 15         | 12              |
| 387       | Oak   | Quercus         | 15         | 12              |
| 388       | Oak   | Quercus         | 35         | 20              |
| 389       | Oak   | Quercus         | 20         | 15              |
| 390       | Oak   | Quercus         | 20         | 18              |
| 391       | Oak   | Quercus         | 25         | 15              |
| 392       | Oak   | Quercus         | 35         | 18              |
| 393       | Oak   | Quercus         | 20         | 14              |
| 394       | Ficus | Ficus Carica    | 50         | 24              |
| 395       | Palm  | Sabal Palmetto  | 12         | 15              |
| 396       | Oak   | Quercus         | 25         | 12              |
| 397       | Oak   | Quercus         | 25         | 18              |
| 398       | Oak   | Quercus         | 18         | 12              |
| 399       | Oak   | Quercus         | 40         | 20              |
| 400       | Oak   | Quercus         | 15         | 7               |
| 475       | Palm  | Sabal Palmetto  | 12         | 15              |



**LOCATION MAP**  
Not to Scale  
A portion of Section 22, Township 52 South, Range 40 East  
Miami-Dade County, Florida

**PROPERTY ADDRESS:**  
14180 NW 77th Ct, Miami Lakes, FL 33016  
**Tax Folio No.** 32-222-008-0180

**LEGAL DESCRIPTION:**  
Lot 16, Block 1, MIAMI LAKES INDUSTRIAL PARK SECTION TEN, according to the Plat thereof, as recorded in Plat Book 116, Page 33, of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES:**  
The client provided the legal description to the surveyor and it is based on the legal description as shown on the Old Republic National Title Insurance Company, Commitment for Title Insurance Order Number: 28012940, dated January 27th, 2026 at 8:00am.

This BOUNDARY SURVEY - ALTA/NSPS LAND TITLE SURVEY is based on: (i) recovered monumentation; (ii) the record plat for the aforementioned plat of MIAMI LAKES INDUSTRIAL PARK SECTION TEN.

This BOUNDARY SURVEY - ALTA/NSPS LAND TITLE SURVEY is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity. This survey does not reflect or determine ownership.

A comparison between plat (P), and calculated (C) dimensions are delineated herein. Plotted dimensions (P) are based on the said MIAMI LAKES INDUSTRIAL PARK SECTION TEN, as recorded in Plat Book 116 at Page 33, of the Public Records of Miami-Dade County, Florida. Calculated dimensions (C) are a projection based on the record plat mentioned above, the direct and indirect measurement of the recovered monumentation and the recorded legal description; the dead dimensions.

The dimensions and directions shown herein are in substantial agreement with record and calculated values unless otherwise noted.

The Bearings and Horizontal coordinates as shown herein were derived using the TopNET GNSS Network, a Network Real Time Kinematic (NRTK) service, where the coordinate of NW 77th Ct bears North 41°02'38" East. The Network broadcasts in NAD 83 and NAVD 83 datum with stated horizontal accuracies to 0.05 feet and vertical accuracies to 0.10 feet. Horizontal coordinates are based on the State Plane Coordinate System, Florida East Zone (80N1/FLAD 83Z0211). All distances as shown are based in Feet.

In some instances graphic representations have been exaggerated to more clearly illustrate the location of the improvements over settled positions.

No encroachments were noted by this survey, except as shown and noted herein. The ownership of the fences and/or walls as shown herein was not determined. Fence locations as shown are based on the recovered monumentation and calculations.

Distances from property lines to fences or walls may slightly vary due to their irregularity, width and composition. Fences or walls not always level on a straight line and in most cases meander through trees, hedges, vines and heavy landscaping usually located along boundary lines, therefore the resultant of said dimensions as shown herein may vary slightly within 0.30' to 0.50' of a foot more or less.

Any fencing, walls, entrance features and landscaping could be subject to a "Safe Sight Distance Triangle" rule.

The location of utilities on or adjacent to the property was not secured. Only the above ground visible surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appearances as shown on this sketch. This Survey does not reflect any existing improvement or utilities of any kind, that maybe hidden and therefore not ascertainable by visual inspection. Underground utility records from the utility companies were not available to the Surveyor nor were they provided by the client. Owner of his agent should verify all utility locations with the appropriate utility provider before using. The Surveyor has performed no subsurface investigation or determined the location of underground features. Call 811 or visit www.sunshine11.com before digging.

Adjacent properties were not investigated at the time of this Survey.

Only the trees of 4" of diameter size and above were located. All trees diameter as reported herein were measured at breast height (DBH). It also includes the canopy spread (diameter) and the tree height. Information about the common names and scientific names of the trees was provided to the best of our knowledge and belief. Although care was taken with the identification of the trees noted herein, as arborist, landscape architect, botanist, environmental specialist or other with advanced education on dendrology should be utilized if critical identification of the trees is required.

There is no observable evidence that any portion of site lies within a wetland area, nor was there any evidence provided to the surveyor that the site was delineated as a wetland area by the proper authorities.

There is no observable evidence of the site being used as a solid waste dump, pump or sanitary landfill.

#### ALTA/NSPS LAND TITLE SURVEY TABLE "A" REQUIREMENTS

The property described herein is shown to be in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, as follows:

- Monuments were found or set at all major boundary corners, with obstructed corners witnessed by improvements.
- The Surveyed Property address as described in Old Republic National Title Insurance Company, Title Insurance Order No. 28012940, with a date of Commitment of January 27th, 2026 is 14180 NW 77th Ct, Miami Lakes, FL 33016
- At the time of Survey, the existing buildings lying within the Surveyed site does lie within a Special Flood Hazard Area (SFHA) as shown on the National Flood Insurance Program, Flood Insurance Rate Map for Miami-Dade County, Florida and Incorporated Areas Map No. 12060C014L, Community No. 120606, for the Town of Miami Lakes, bearing an effective/revised date of September 11, 2009. Said map delineates the herein described land to be situated within Zone "AE", Base Flood Elevation of 8 feet.
- The total area of the Surveyed Parcel as described herein contains 80,300.00 square feet more or less (1.84 Acres more or less).
- Elevations shown herein are referred to the National Geodetic Vertical Datum of 1929 (NGVD 29) and are expressed in Feet.

Benchmark references:

BM Name: N-828  
BM Elevation (NGVD 29): 7.27 feet  
Location 1: NW 138 ST (PALMETTO FRONTAGE RD) --- 16' NW OF CL  
Location 2: NW 80 AVE --- 46' EAST OF CL  
Location 3: 25.3' ENE OF A VALVE BOX, 33.8' EAST OF A FIRE HYDRANT  
Description: PK NAIL AND BRASS WASHER IN CONCRETE CURB, ACROSS FROM FPL SUBSTATION.

BM Name: N-632  
BM Elevation (NGVD 29): 7.28 feet  
Location 1: NW 146 ST --- 26' SOUTH OF CL  
Location 2: NW 77 AVE (PALMETTO X-WAY) --- 36' WEST OF CL  
Location 3: 12' ESE OF FIRE HYDRANT  
Location 4: 5' SE OF A METAL DADE SURVEY SIGN ON A STOP SIGN POST  
Description: PK NAIL AND BRASS WASHER IN CONCRETE SIDEWALK.

- Not designated by the client.
- Exterior dimensions for all buildings at the ground level are plotted herein.
- Substantial features observed during the field survey and any significant site improvements have been shown herein. Features that were obscured, inaccessible, or outside the survey limits may not be depicted. This survey represents visible physical conditions only and does not imply completeness regarding subsurface, concealed, or future improvements. The date of field work is noted in the surveyor's certification.
- There are 82 standard surface parking spaces, 4 handicap surface parking spaces, for a total of 86 parking spaces.
- Not designated by the client.
- Not designated by the client.
- Not designated by the client.
- The names of the adjoining owners and the associated tax folio number are based on the Miami-Dade County Property Appraiser's Property Search Summary Report.
- Not designated by the client.
- The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17, Florida Administrative Code, at an equivalent standard of 1" foot in 10,000 feet for Commercial Areas. The elevations as shown are based on a closed level loop to the benchmark noted above, and meet or exceed a closure in feet of plus or minus 0.05 feet times the square root of the distance in miles.
- The maximum allowable Relative Positional Precision for an ALTA/NSPS Land Title Survey is 2 cm (0.77 inch) plus 50 parts per million (Based on the direct distance between the two corners being tested), marking any other corner of the surveyed property at the 85 percent confidence level. The Relative Positional Precision for this ALTA Survey has been found not to exceed the maximum allowable value for Relative Positional Precision as stated above.
- There is no observable evidence of earth moving work, building construction, or building additions within recent months.
- There is no observable evidence of recent street or sidewalk construction or repairs within the public right-of-way, nor have any changes in street right-of-way lines, whether completed or proposed, been made known to the surveyor or are disclosed on this survey.
- Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Easement or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than as stated in the legal description or as shown on the underlying record plat. Right of Way should be verified by the owner and/or agent with the appropriate agency prior to design or construction. Right of Way as shown is based on the MIAMI LAKES INDUSTRIAL PARK SECTION TEN plat and has not been Verified.
- There is no off-site easements or servitudes benefiting the surveyed property that were made known to the surveyor or referenced in the below mentioned Title Commitment under Schedule B, Exceptions from Coverage.
- Not designated by the client.
- Not designated by the client.

#### B-II EXCEPTIONS:

The property described herein is the same as the property described in Schedule A of the Old Republic National Title Insurance Company, File No. 28012940, with a date of Commitment of January 27th, 2026 and all the easements, covenants and restrictions, evidenced by Recorded Documents and/or other title exceptions provided to the Surveyor as noted in Schedule B-II, Exceptions, of the said Commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted herein or otherwise noted as to their effect on the subject property below.

- The property lies outside, and is subject to the reservations in favor of the State of Florida, as set forth in the deed from the Trustees of the Internal Improvement Fund of the State of Florida recorded in Deed Book 560, Page 285, as affected by partial release in Deed recorded in Official Records Book 11547, Page 35 and by Quit Claim Deed recorded in Official Records Book 12486, Page 3107, Public Records of Miami-Dade County, Florida; however, the right of entry and exploration associated with the oil and mineral reservation has been released pursuant to Sec. 270.11, F.S. Lies outside the subject property.
- The property lies wholly within and is subject to the restrictions, easements, dedications and reservations as shown on the Plat of Cords, as recorded in Plat Book 100, Page 73, Public Records of Miami-Dade County, Florida. Shown herein.
- The property lies wholly within and is subject to the restrictions, easements, dedications and reservations as shown on the Plat of Miami Lakes Industrial Park Section Ten, as recorded in Plat Book 116, Page 33, Public Records of Miami-Dade County, Florida. Shown herein.
- The property is subject to the agreement for the Construction of Sanitary Sewer Facilities and for Disposal of Sanitary Sewage recorded in Official Records Book 9322, Page 813, Public Records of Miami-Dade County, Florida, which creates an easement and provides for fees and connection charges and approval of purchaser on a limited basis. Blanket in nature.
- The property is subject to the agreement for the Construction of Water Facilities and for the Provision of Water Service recorded in Official Records Book 9322, Page 837, Public Records of Miami-Dade County, Florida, which creates an easement and provides for fees and connection charges and approval of purchaser on a limited basis. Blanket in nature.
- The property lies wholly within and is subject to the memorandum of Agreement recorded in Official Records Book 11471, Page 561, Public Records of Miami-Dade County, Florida. Shown herein.
- The property is subject to the grant of Easement in favor of Miami-Dade Water and Sewer Authority contained in instrument recorded August 12, 1982, under Official Records Book 11528, Page 814, Public Records of Miami-Dade County, Florida. Plotted herein.
- The property is subject to the memorandum of Agreement recorded in Official Records Book 18730, Page 3765, Public Records of Miami-Dade County, Florida. Plotted herein.
- The property is subject to the memorandum of Ground Lease recorded in Official Records Book 16763, Page 4552, as assigned by Assignment and Assumption of Lease recorded in Official Records Book 24127, Page 1206, as affected by Short Form Lease recorded in Official Records Book 28451, Page 2382, and Memorandum of Lease recorded in Official Records Book 28507, Page 4853, and Easement and Assignment of Lease Agreement recorded in Official Records Book 34438, Page 4205, Public Records of Miami-Dade County, Florida. Plotted herein.
- Riparian and littoral rights are neither guaranteed nor insured. (Not a survey matter)
- Terms and conditions of any existing unrecorded lease(s), and all rights of lease(s), as set forth in Chapter 5J-17, Florida Administrative Code and is a "BOUNDARY SURVEY" as defined therein.

Note: All of the recording information contained herein refers to the Public Records of Miami-Dade County, Florida.

This "BOUNDARY SURVEY - ALTA/NSPS LAND TITLE SURVEY" shown here on in its graphic form is the record depiction of the surveyed lands described herein, as updated in the field to reflect the current conditions on the property on February 18th, 2026 and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. All property corners, as shown here on, were recovered or relied on the aforementioned data. This map is intended to be displayed at a scale of 1" = 20' or smaller. Caution, the scale of this drawing may have been altered by duplication, verify with the Graphic Scale and/or dimensional calls to determine if a scale factor applies.

#### SURVEYOR'S CERTIFICATION:

To: Stor All Storage

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1 through 3, 5, 15, 16, 17, and 18 of Table A thereof. The field work was completed on February 18, 2026, and the survey on which it is based meets the Standards of Practice, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 47.022 Florida Statutes, as set forth in Chapter 5J-17, Florida Administrative Code and is a "BOUNDARY SURVEY" as defined therein.

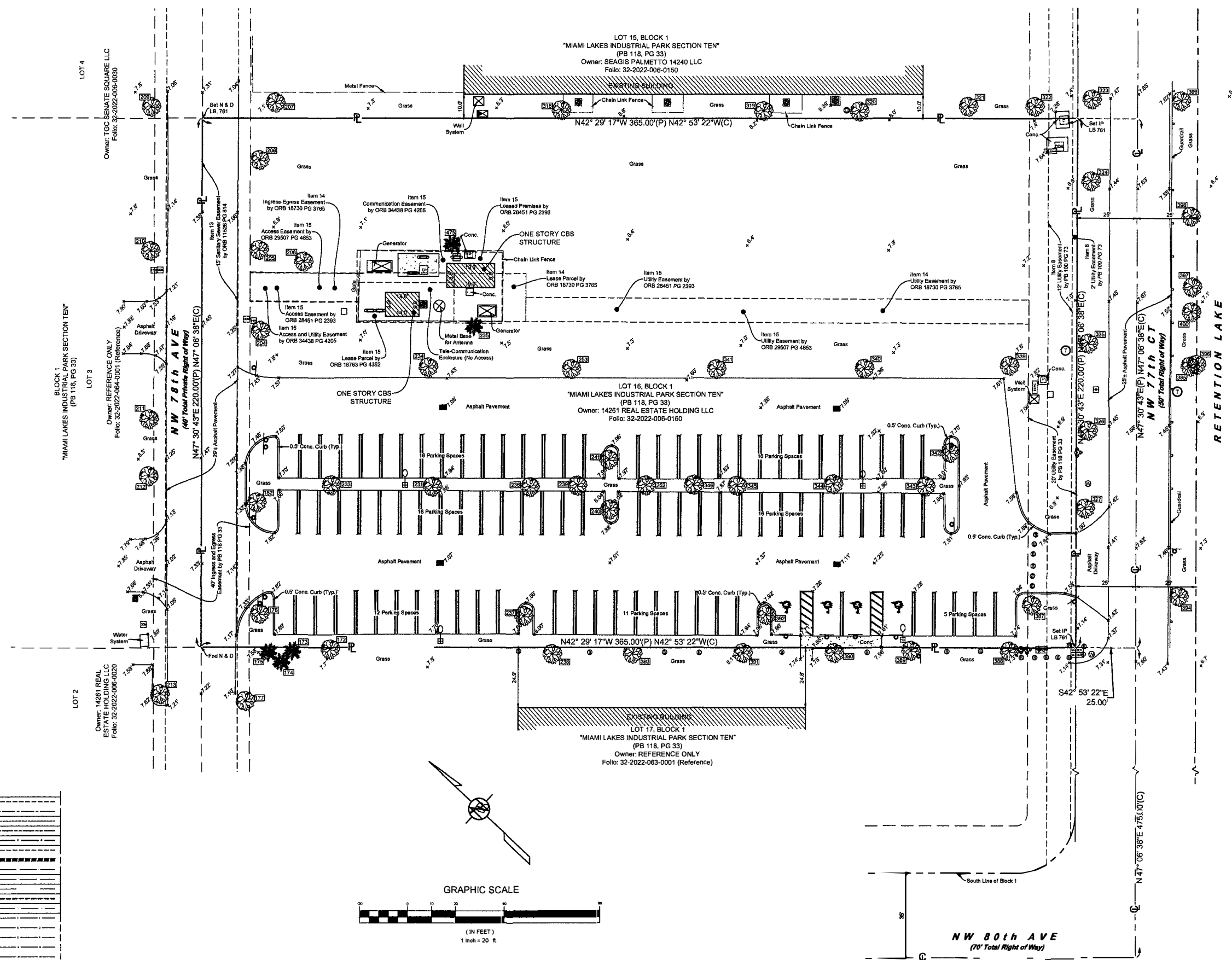
E.R. BROWNELL & ASSOCIATES, INC.  
Certificate of Authorization LB 761

Digitally signed by  
Thomas Brownell  
Date: 2026.03.04  
16:16:06 -05'00'

The survey map and notes and/or report consisting of 2 Sheets. Each page shall not be considered full, valid, and complete unless attached to the others and has been electronically signed and sealed by Thomas Brownell, Professional Land Surveyor #2691, State of Florida using a Digital Signature and Date, pursuant to Chapter 5J-17, Florida Administrative Code, under Section 5J-17.052, on Sheet 1 of 2. The "Digital Date" may not reflect the date of survey or the latest revision date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

BOUNDARY SURVEY  
ALTA/NSPS LAND TITLE SURVEY

| ABBREVIATIONS  |                                                                    |
|----------------|--------------------------------------------------------------------|
| AS             | As-built info. by others                                           |
| ASC            | As Conditioned Unit                                                |
| BLDG           | Building                                                           |
| CONC.          | Concrete                                                           |
| CBS            | Concrete Block Structure                                           |
| CCV            | Double Detector Check Valve                                        |
| FDC            | Fire Department Connection                                         |
| FND            | Found                                                              |
| DR             | Drill Hole                                                         |
| N & D          | Nail & Disc                                                        |
| IP             | Iron Pipe                                                          |
| RM             | Recovered monument from calculated location based on Plat (or CMA) |
| BFE            | Base Flood Elevation                                               |
| ELEV.          | Elevation                                                          |
| FF.ELEV.       | Finish Floor Elevation                                             |
| INV.           | Invert Elevation                                                   |
| NGVD 29        | National Geodetic Vertical Datum, of 1929                          |
| NAVD 88        | North American Vertical Datum, of 1988                             |
| (C)            | Calculated Dimension                                               |
| (D)            | Deed Dimension                                                     |
| (M)            | Measured Dimension                                                 |
| (P)            | Platted Dimension                                                  |
| (R)            | Record Dimension                                                   |
| (CMA)          | City of Miami Atlas Sheet                                          |
| Δ              | Delta                                                              |
| L              | Lot Length                                                         |
| R              | Radius                                                             |
| SYMBOL LEGEND: |                                                                    |
| ⊕              | Fire Hydrant                                                       |
| ⊕              | Water Valve                                                        |
| ⊕              | Gas Valve                                                          |
| ⊕              | Sanitary Valve                                                     |
| ⊕              | Irrigation Valve                                                   |
| ⊕              | Unknown Valve                                                      |
| ⊕              | Post Indicator Valve                                               |
| ⊕              | Check Valve                                                        |
| ⊕              | Double Detector Check Valve                                        |
| ⊕              | Cleanout                                                           |
| ⊕              | Monitoring Well                                                    |
| ⊕              | Catch Basin                                                        |
| ⊕              | Drain Round                                                        |
| ⊕              | Drain Square                                                       |
| ⊕              | Curb Inlet                                                         |
| ⊕              | Drainage Manhole                                                   |
| ⊕              | Sanitary Manhole                                                   |
| ⊕              | Electric Manhole                                                   |
| ⊕              | Grass Trap Manhole                                                 |
| ⊕              | Communications Manhole                                             |
| ⊕              | Light Pole                                                         |
| ⊕              | Concrete Light Pole                                                |
| ⊕              | Metal Light Pole                                                   |
| ⊕              | Signal Mast Arm                                                    |
| ⊕              | Pedestrian Walk Signal                                             |
| ⊕              | Wood Pole                                                          |
| ⊕              | Concrete Pole                                                      |
| ⊕              | Metal Pole                                                         |
| ⊕              | Flag Pole                                                          |
| ⊕              | Guy Wire                                                           |
| ⊕              | Single Support Sign                                                |
| ⊕              | Parking Meter                                                      |
| ⊕              | Guard Post                                                         |
| ⊕              | Bollards                                                           |
| ⊕              | A/C Compressor Unit                                                |
| WATER          |                                                                    |
| ⊕              | Water Meter                                                        |
| ELEC           |                                                                    |
| ⊕              | Electric Meter                                                     |
| GAS            |                                                                    |
| ⊕              | Gas Meter                                                          |
| LINK           |                                                                    |
| ⊕              | Unknown Meter                                                      |
| ⊕              | Handhole                                                           |
| ⊕              | Wire Pull Box                                                      |
| ⊕              | Box Electric                                                       |
| ⊕              | Box Communications                                                 |
| ⊕              | Electrical Transformer                                             |
| ⊕              | Electrical Panel                                                   |
| ⊕              | Iron Pipe                                                          |
| ⊕              | Section Corner                                                     |
| ⊕              | Handicap Space                                                     |
| ⊕              | Mailbox                                                            |
| ⊕              | Fire Department Connection                                         |
| ⊕              | Fire Department Connection                                         |
| ⊕              | Monument Line                                                      |
| ⊕              | Center Line                                                        |
| ⊕              | Section Line                                                       |
| ⊕              | Property Line                                                      |
| ⊕              | Spot Elevation                                                     |
| ⊕              | Ground Elevation                                                   |
| ⊕              | Tree                                                               |
| ⊕              | Palm Tree                                                          |
| ⊕              | Flow of Traffic                                                    |
| LINE TYPES:    |                                                                    |
| ⊕              | Building Overhang                                                  |
| ⊕              | Centerline                                                         |
| ⊕              | Section Line                                                       |
| ⊕              | Right of Way Line                                                  |
| ⊕              | Right of Way Line                                                  |
| ⊕              | Lot Line                                                           |
| ⊕              | Match Line                                                         |
| ⊕              | Chain-Link Fence                                                   |
| ⊕              | Metal Fence                                                        |
| ⊕              | Wood Fence                                                         |
| ⊕              | Dried Line                                                         |
| ⊕              | Overhead Wire                                                      |
| ⊕              | Communication Line                                                 |
| ⊕              | Drainage Storm Line                                                |
| ⊕              | Sanitary Sewer Line                                                |
| ⊕              | Gas Line                                                           |
| ⊕              | Water Line                                                         |
| ⊕              | Electrical Line                                                    |
| ⊕              | Underground Utility Line                                           |
| ⊕              | Unknown Utility Line                                               |



E.R. Brownell

14180 NW 77 CT

Certification  
PLS/PSM N  
Field Book I  
Drawn by:  
Checked by:  
Scale:  
Date:  
Job No.

SEE  
FOR CER  
Sheet No.  
2  
Sketch No.  
LS-

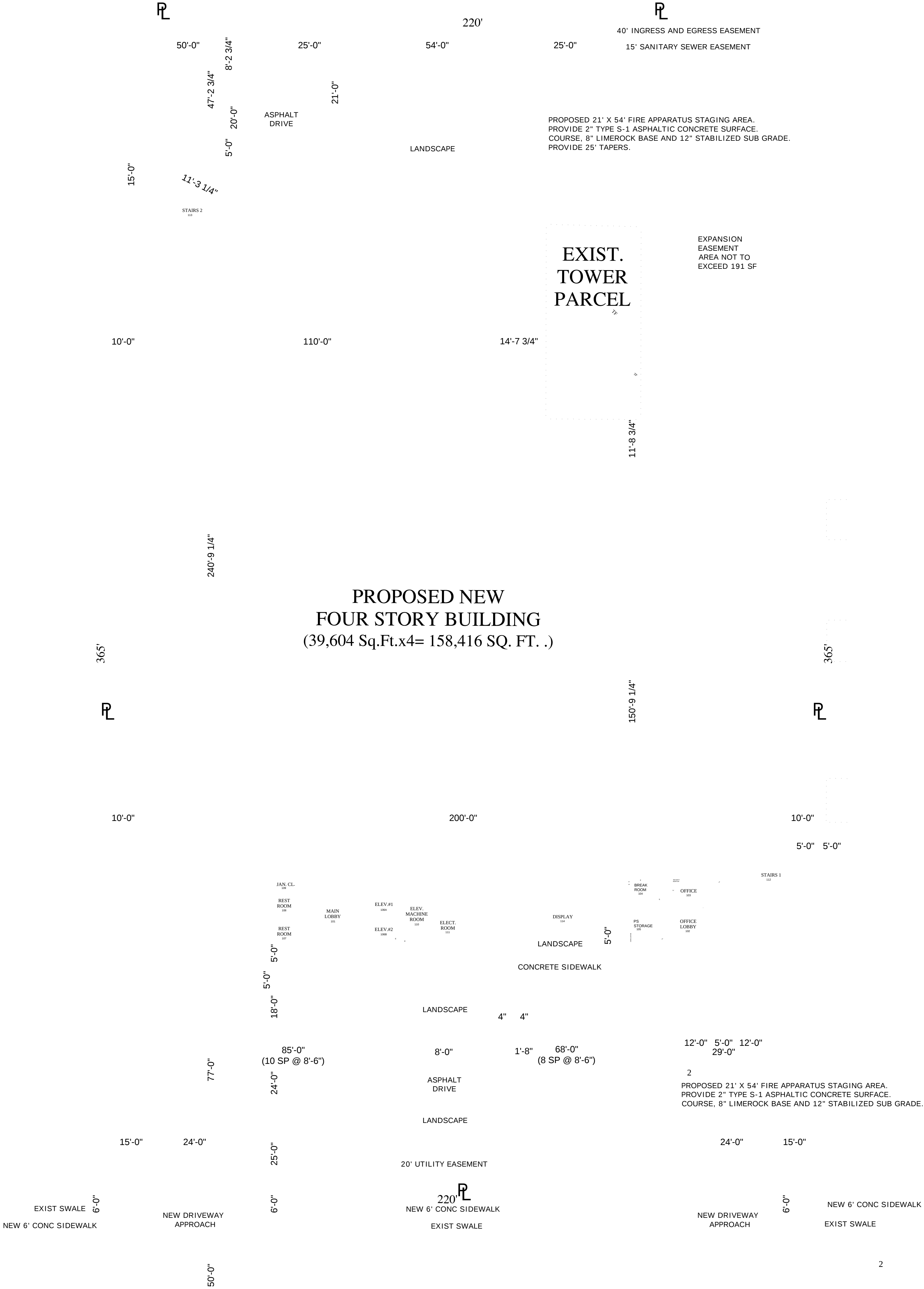
| ZONING STATISTICS |                       |   |                    |
|-------------------|-----------------------|---|--------------------|
| ZONING DISTRICT   | I-U-C (INDUSTRIAL)    |   |                    |
| PERMITTED USE     | Self Storage Facility |   |                    |
| NET LOT AREA      | 80,300 SF             |   |                    |
|                   | ALLOWD/REQ'D          | 2 | PROVIDED 2         |
| MAXIMUM FAR       | NO MAXIMUM            |   | 158,416 sq. ft.    |
| MAXIMUM HEIGHT    | 50'-0"                |   | 4 STY / 48'-4" ft. |
| SETBACKS          |                       |   |                    |
| FRONT (SOUTH)     | 25 Feet               |   | 77 Feet            |
| SIDE (EAST)       | 10 Feet               |   | 10 Feet            |
| SIDE (WEST)       | 10 Feet               |   | 10 Feet            |
| REAR (NORTH)      | 5 Feet                |   | 47'-2 3/4" Feet    |

1

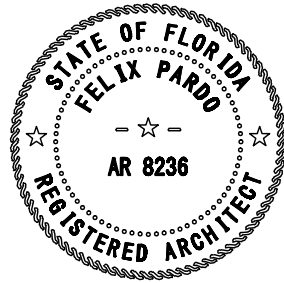
VEHICULAR PARKING REQUIRED = 1 Space per / 5000 sf up for the first 20,000 sf = 4 SPACES, plus 1 space per / 10,000 sf after (137,496 SF remaining) = 14 SPACES, plus 1 space per / 400 sf gross of Office space (650 sf)= 2 SPACES. TOTAL PARKING = 20 SPACES

VEHICULAR PARKING PROVIDED = 20 TOTAL SPACES PROVIDED (1 HC REQUIRED, 2 HC PROVIDED)

**LEGAL DESCRIPTION:**  
Lot 16, Block 1, MIAMI LAKES INDUSTRIAL PARK SECTION TEN, according to the Plat thereof, as recorded in Plate Book 118, Page 33, of the Public Records of Miami-Dade County, Florida.



SITE PLAN  
1/16" = 1'-0"





## GENERAL NOTES

1. SEE G2.01 FOR PARTITION TYPES.
2. WIRE SECURITY MESH ABOVE ALL STORAGE UNITS BY STORAGE UNIT VENDOR. G.C. TO COORDINATE W/ VENDOR. MESH CEILING SHALL BE INSTALLED 18" BELOW SPRINKLER GRID WITH SUPPORT S" ON EITHER DIRECTION
3. ALL STRUCTURAL STL. COLUMNS EXPOSED TO THE PUBLIC TO BE PAINTED
4. ALL DRYWALL WITHIN STORAGE UNIT AND CORRIDOR SHALL BE COVERED w/ MTL PARTITION PANELS
5. ALL SHARP/UNFINISHED EDGES SHALL BE PROTECTED BY HEMMING OR PROTECTIVE COVERS
6. ALL EXPOSED SCREW TIPS SHALL BE COVERED W/ "MOCAPS" PLASTIC PROTECTION.
7. EXT. BOLLARDS SHALL BE PAINTED ORANGE WITH REFLECTED STRIPE.
8. PROTECT F.R. ENCLOSURES (PERMITTED TO BE PENETRATED BY DUCTS AND AIR TRANSFER OPENINGS) W/ APPROVED FIRE AND/OR DAMPERS AS REQUIRED.
9. MESH CEILING SHALL BE INSTALLED 18" BELOW SPRINKLER GRID WITH SUPPORT S" ON EITHER DIRECTION
10. GC TO PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET W/ MAX. PROJECTION OF 4" -- SEE EGRESS PLAN FOR LOCATIONS
11. PROVIDE VAPOR BARRIER UNDER SLAB TYP. REFER TO STRUCTURAL PLANS
12. LOCATE ALL CONTROL JOINTS AS REQUIRED ON STRUCTURAL DRAWINGS INCLUDING SIZE AND SPACING
13. 10'-0" STG. PARTITIONS BY STG UNIT VENDORS AT DISPLAY AREAS
14. ELEVATOR LOBBY SHALL HAVE A 48" HIGH DIAMOND PLATE WAINSCOT ON ALL INTERIOR SURFACES. WAINSCOT SHALL CONTINUE WITHIN 25 FEET OF ELEVATOR DOORS
15. USE ROLL-UP DOORS WHERE DOOR OPNG CONFLICT OCCURS, OR AS MAY BE REQ'D BY JURISDICTIONAL REQMT'S.
16. BUILDING(S) SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT." AS PRESCRIBED ON FBC 2023 8TH EDITION SECTON 18.16.1
17. PRE-FIN. GLOSSY PS ORANGE MTL ROLL-UP DOORS BT STG UNIT VENDOR (TYP.)
18. 8'-4" STG UNIT PARTITIONS BY STG UNIT VENDORS (TYP.)
19. PRE-FIN. GLOSSY PS ORANGE MTL SWING DOOR BY STG UNIT VENDOR (TYP.)
20. FOR ADA ACCESSIBLE STORAGE UNIT, ROLL-UP DOORS TO REQUIRE MAX. 5 LBS OF FORCE TO OPEN AND HAVE PULL-DOWN ROPES W/ LOOPS AT ENDS A MAX. OF 48" A.F.F. DOOR IS FULLY WHEN OPEN
21. FOR UNITS 10' WIDE BUT ONLY 5' DEEP THE DOOR SHALL BE AN 8'X7' ROLL-UP, USE UP DOORS WHERE CONFLICT OCCURS OR AS DIRECTED BY THE JURISDICTIONAL ROLL-REQUIREMENTS.
22. SPRINKLER LINES/MANS SHOULD AVOID RUNNING DOWN THE HALLWAYS.
23. SPRINKLER LINES TO BE PAINTED RED (WHERE REQUIRED BY LOCAL CODE)
24. REFER TO LIFE SAFETY PLANS FOR FIRE EXTINGUISHERS LOCATION
25. ALL INSULATING MATERIALS. SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450

## LEGEND

CONCRETE TILT UP WALL

NON RATED GYPSUM BOARD  
PARTITION

FIRE RATED GYPSUM BOARD  
PARTITION, REFER TO LIFE SAFETY  
PLANS FOR REQUIREMENTS

K      KEYPAD

I      INTERCOM

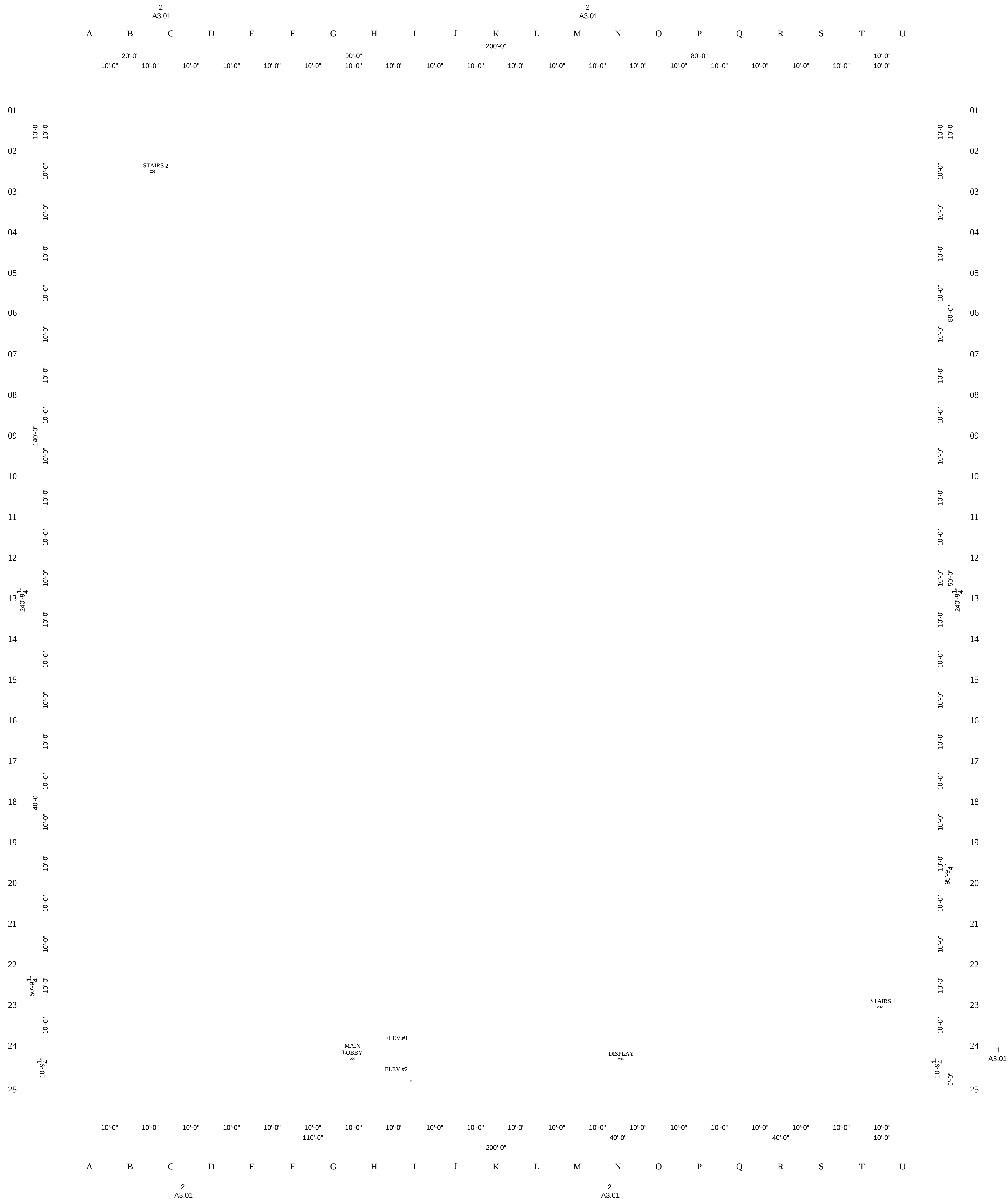
STORAGE UNIT PARTITIONS  
BY STORAGE UNIT VENDOR (TYP)

STORAGE LOCKER UNIT  
BY STORAGE UNIT VENDOR (TYP)

48"H DIAMOND PLATE

|                                               |               |
|-----------------------------------------------|---------------|
| SECOND FLOOR AREAS                            |               |
| STAIRS                                        | 442 SQ.FT.    |
| ELEVATORS                                     | 178 SQ.FT.    |
| DISPLAY AREAS                                 | 222 SQ.FT.    |
| SELF STORAGE SPACES<br>(CIRCULATION INCLUDED) | XX,XXX SQ.FT. |

|                               |               |
|-------------------------------|---------------|
| TOTAL FLOOR AREA              | 39,604 SQ.FT. |
| SECOND FLOOR STORAGE UNIT MIX | TOTAL (UNITS) |
| 5X5                           | XX            |
| 5X10                          | XX            |
| 10X10                         | XX            |
| 10X15                         | XX            |
| 10X20                         | XX            |
| TOTAL STORAGE UNITS           | XXX           |



FELIX PARDO & ASSOCIATES, Inc.  
ARCHITECTURE / PLANNING / INTERIORS

PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT  
14180 NW 77th CT, MIAMI LAKES, FL 33016

Phone:(954) 421-7888

02/12/26

AS SHOWN

JM

## SECOND FLOOR PLAN

$$3/32'' = 1' - 0$$

A1.02

GENERAL NOTES

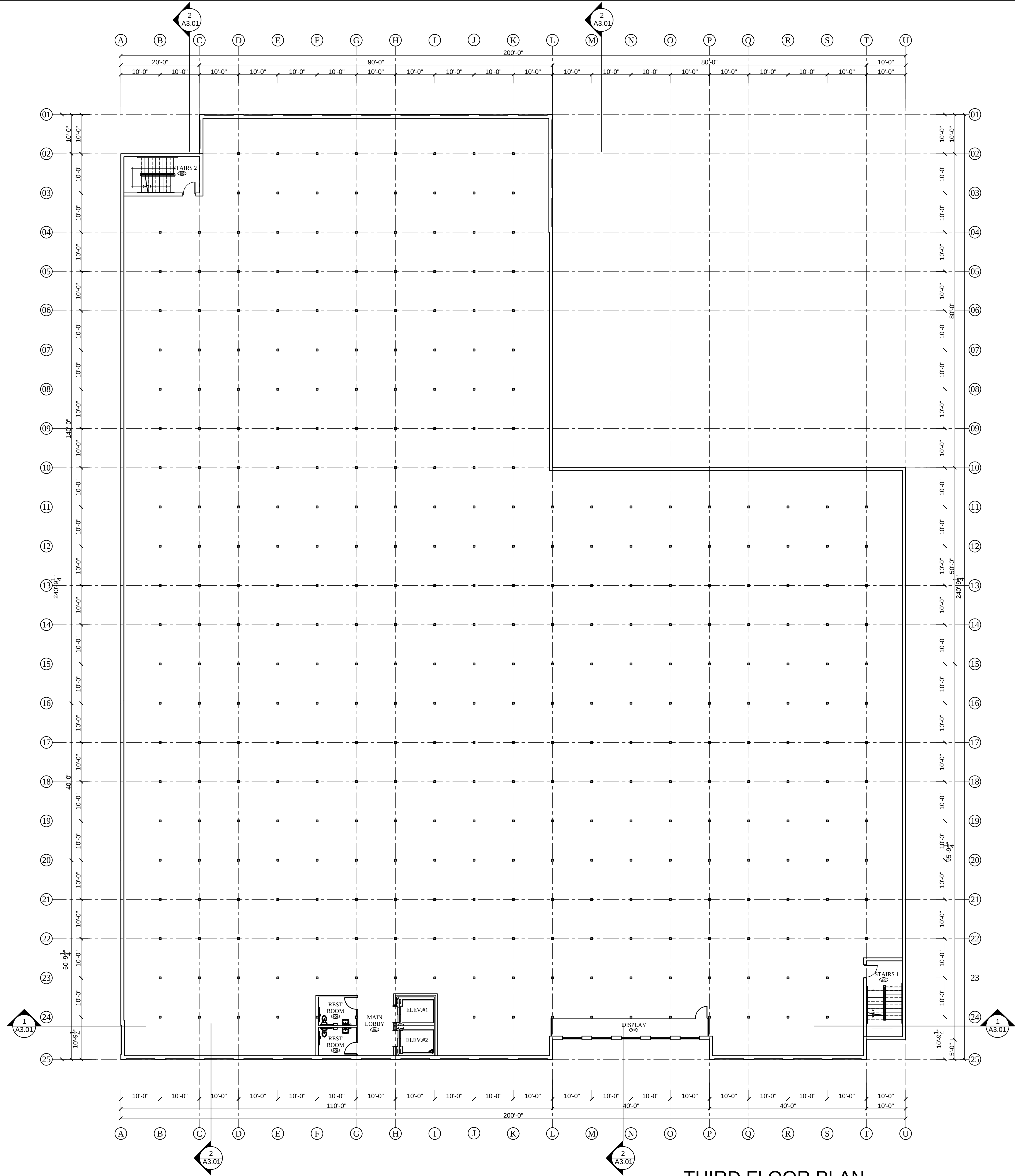
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- ALL INSULATING MATERIALS, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450

LEGEND

|  |                                                                                |
|--|--------------------------------------------------------------------------------|
|  | CONCRETE TILT UP WALL                                                          |
|  | NON RATED GYPSUM BOARD PARTITION                                               |
|  | FIRE RATED GYPSUM BOARD PARTITION, REFER TO LIFE SAFETY PLANS FOR REQUIREMENTS |
|  | KEYPAD                                                                         |
|  | INTERCOM                                                                       |
|  | STORAGE UNIT PARTITIONS BY STORAGE UNIT VENDOR (TYP)                           |
|  | STORAGE LOCKER UNIT BY STORAGE UNIT VENDOR (TYP)                               |
|  | 48"H DIAMOND PLATE                                                             |

| THIRD FLOOR AREAS                          |               |
|--------------------------------------------|---------------|
| STAIRS                                     | 442 SQ.FT.    |
| ELEVATORS                                  | 178 SQ.FT.    |
| RESTROOM                                   | 170 SQ.FT.    |
| DISPLAY AREAS                              | 222 SQ.FT.    |
| SELF STORAGE SPACES (CIRCULATION INCLUDED) | XX,XXX SQ.FT. |
| TOTAL FLOOR AREA                           | 39,604 SQ.FT. |

| THIRD FLOOR STORAGE UNIT MIX | TOTAL (UNITS) |
|------------------------------|---------------|
| 5X5                          | XX            |
| 5X10                         | XX            |
| 10X10                        | XX            |
| 10X15                        | XX            |
| 10X20                        | XX            |
| TOTAL STORAGE UNITS          | XXX           |



THIRD FLOOR PLAN

3/32"=1'-0"

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |
|           |    |
|           |    |
|           |    |

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Phone: (305) 445-4555 Fax: (305) 445-7006 AA 0002478

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Phone:(954) 421-7888

|       |          |
|-------|----------|
| Date  | 02/12/26 |
| Scale | AS SHOWN |
| Drawn | JM       |
| Job # | 202504   |
| Sheet | A1.03    |
| Of    | Sheets   |

GENERAL NOTES

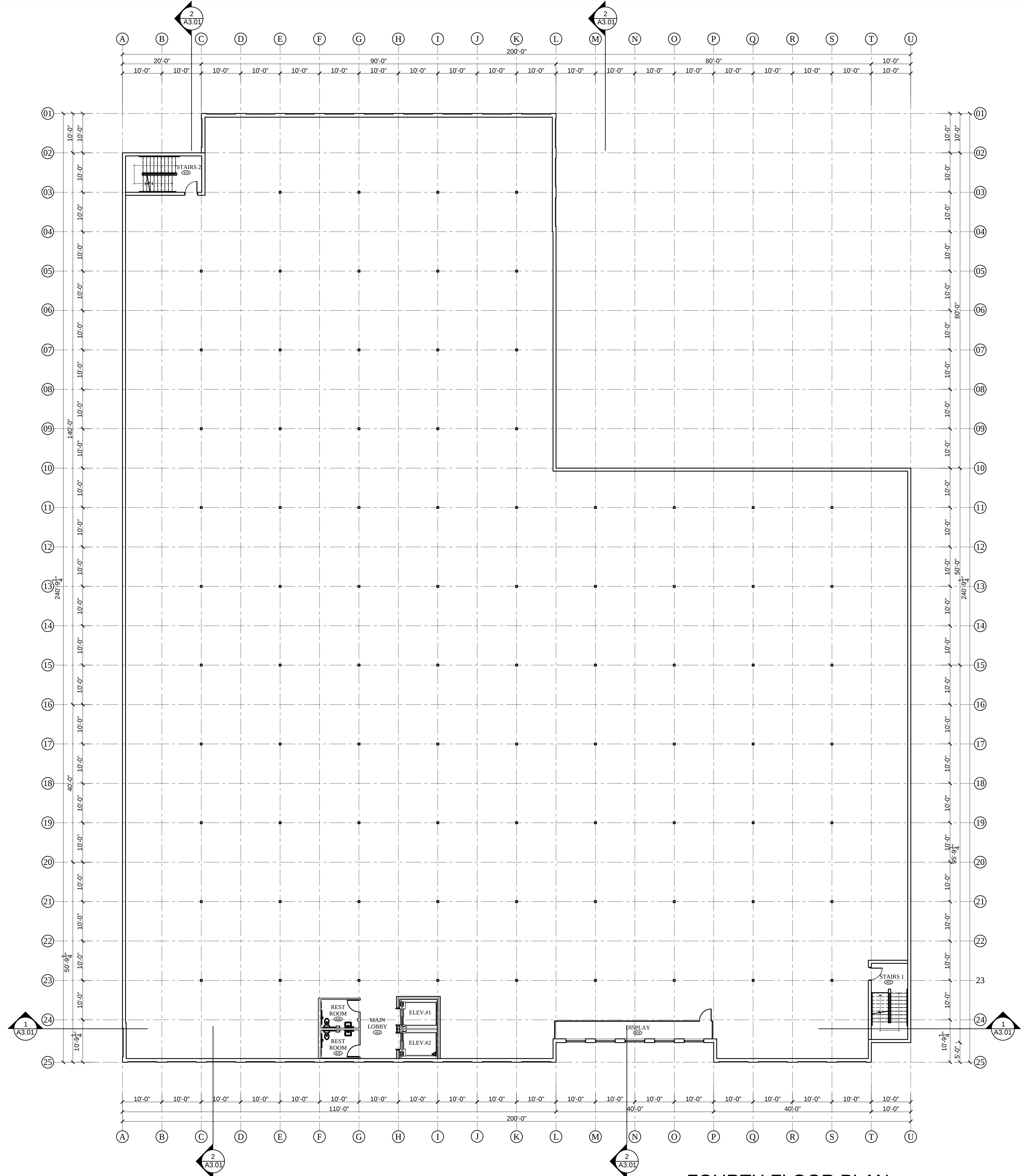
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LEGEND

|  |                                                                                |
|--|--------------------------------------------------------------------------------|
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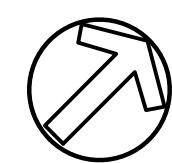
| FOURTH FLOOR AREAS                         |               |
|--------------------------------------------|---------------|
| STAIRS                                     | 4442 SQ.FT.   |
| ELEVATORS                                  | 178 SQ.FT.    |
| DISPLAY AREAS                              | 222 SQ.FT.    |
| SELF STORAGE SPACES (CIRCULATION INCLUDED) | XX,XXX SQ.FT. |
| TOTAL FLOOR AREA                           | 39,604 SQ.FT. |

| FOURTH FLOOR STORAGE UNIT MIX | TOTAL (UNITS) |
|-------------------------------|---------------|
| 5X5                           | XX            |
| 5X10                          | XX            |
| 10X10                         | XX            |
| 10X15                         | XX            |
| 10X20                         | XX            |
| TOTAL STORAGE UNITS           | XXX           |



FOURTH FLOOR PLAN

3/32"=1'-0"



| REVISIONS | BY |
|-----------|----|
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|           |    |
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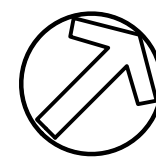
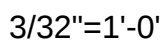
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PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT  
14180 NW 77th CT, MIAMI LAKES, FL 33016

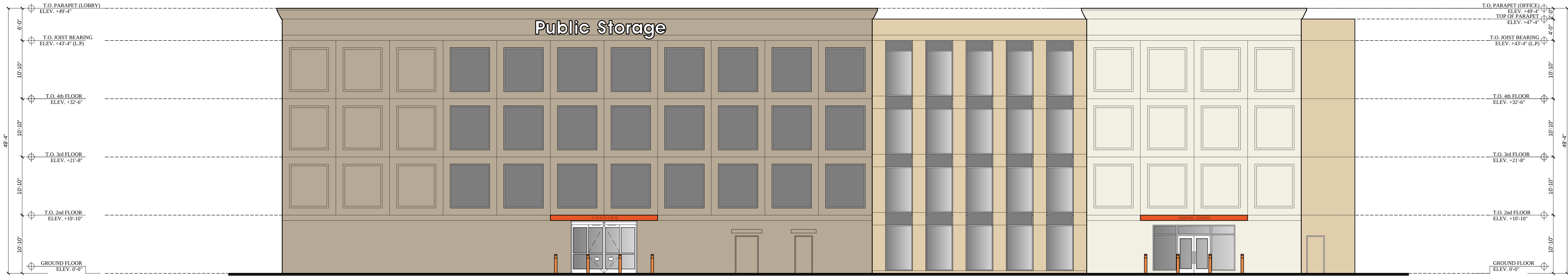
Phone:(954) 421-7888

|       |          |
|-------|----------|
| Date  | 02/12/26 |
| Scale | AS SHOWN |
| Drawn | JM       |
| Job # | 202504   |
| Sheet | A1.04    |
| Of    | Sheets   |

1. ROOF PADS SHALL SURROUND ROOF TOP EQUIPMENT & ROOF ACCESS HATCH.
2. CLEARANCES BETWEEN ROOF TOP EQUIPMENT SHALL BE VERIFIED WITH MANUF. BEFORE SETTING EQUIPMENT.
3. ALL UNDERLAYMENT SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
4. TAPERED INSULATION CRACKS SHALL BE INSTALLED AT THE SLOPE OF ROOF DRAIN/STRAIGHT/UPHILL SIDE OF ALL EQUIPMENT CURBS LARGER THAN 24" AND EXTEND 6" BEYOND EQUIPMENT AT APPROXIMATE LIMITS INDICATED ON PLAN. SLOPE OF VALLEY FORMED BY CRACK IS DESIGNED TO APPROXIMATE A SLOPE OF 1/8:12.
5. NO SCREW SHALL BE USED FOR GUTTER/DOWNSPOUTS. PROVIDE ALUMINUM RIVETS
6. ALL EXPOSED INSULATION WIRING AND OTHER MISCELLANEOUS EQUIPMENT SHALL BE RATED FOR EXTERIOR USE
7. ROOF PADS SHALL BE PROVIDED AROUND ALL MECHANICAL EQUIPMENT
8. ROOF SLOPES ARE MINIMUM
9. VERIFY ALL ROOF PENETRATION LOCATIONS WITH MECHANICAL AND ELECTRICAL DRAWINGS
10. EQUIPMENT SHALL BE INSTALLED IN AREAS WHERE PIPE SUPPORTS ARE TO BE LOCATED ON THE ROOF. PADS TO BE SIMILAR TO ROOFING AND PIPE SUPPORTS SHALL BE COVERED AND ADHERED/ATTACHED PER SPEC. SEE FOR MORE INFO.
11. REFER TO DRAWING 34.04 FOR ROOF DETAILS AND USE ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
12. ROOFING SHALL BE CHINESE MANUFACTURE, CANALCO, OR FIRESTONE. ULTRARY MECHANICAL ATTACHED ROOFING SYSTEM OR APPROVED EQUAL. REFER TO STRUCTURE ROOF FRAMING NOTE B1, SHEET 51.3.
13. CONTRACTOR SHALL PROVIDE UP TO DATE APPROVED N/A.3 THAT SHALL MEET UPLIFT ROOF PRESSURES AS SHOWN ON STRUCTURAL DRAWINGS.

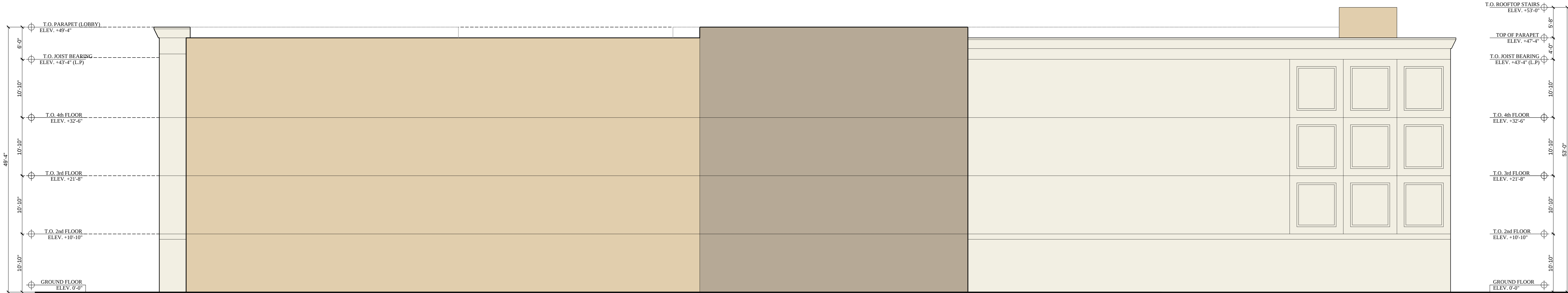


|                                                                                                                       |          |                                                                                                                                                                                        |  |           |    |
|-----------------------------------------------------------------------------------------------------------------------|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------|----|
| PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT<br>14180 NW 77th CT, MIAMI LAKES, FL 33016<br>Phone:(954) 421-7888 |          | FELIX PARDO & ASSOCIATES, Inc.<br>ARCHITECTURE / PLANNING / INTERIORS<br>2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA.<br>Phone: (305) 445-4555 Fax: (305) 445-7006 AA 0002478 |  | REVISIONS | BY |
| Date                                                                                                                  | 02/12/26 |                                                                                                                                                                                        |  |           |    |
| Scale                                                                                                                 | AS SHOWN |                                                                                                                                                                                        |  |           |    |
| Drawn                                                                                                                 | JM       |                                                                                                                                                                                        |  |           |    |
| Job #                                                                                                                 | 202504   |                                                                                                                                                                                        |  |           |    |
| Sheet                                                                                                                 | A1.05    |                                                                                                                                                                                        |  |           |    |
| Of                                                                                                                    | Sheets   |                                                                                                                                                                                        |  |           |    |



SOUTHEAST ELEVATION

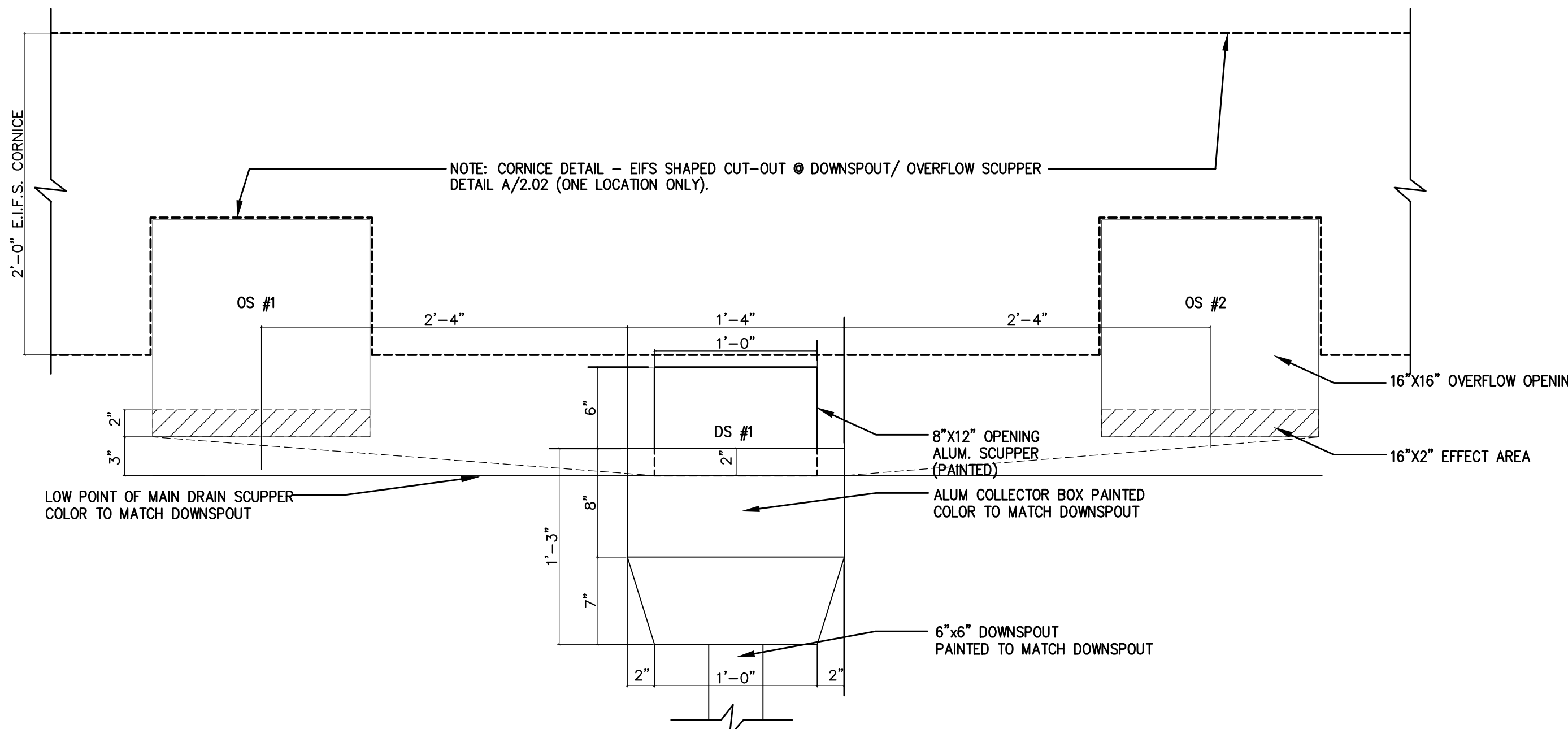
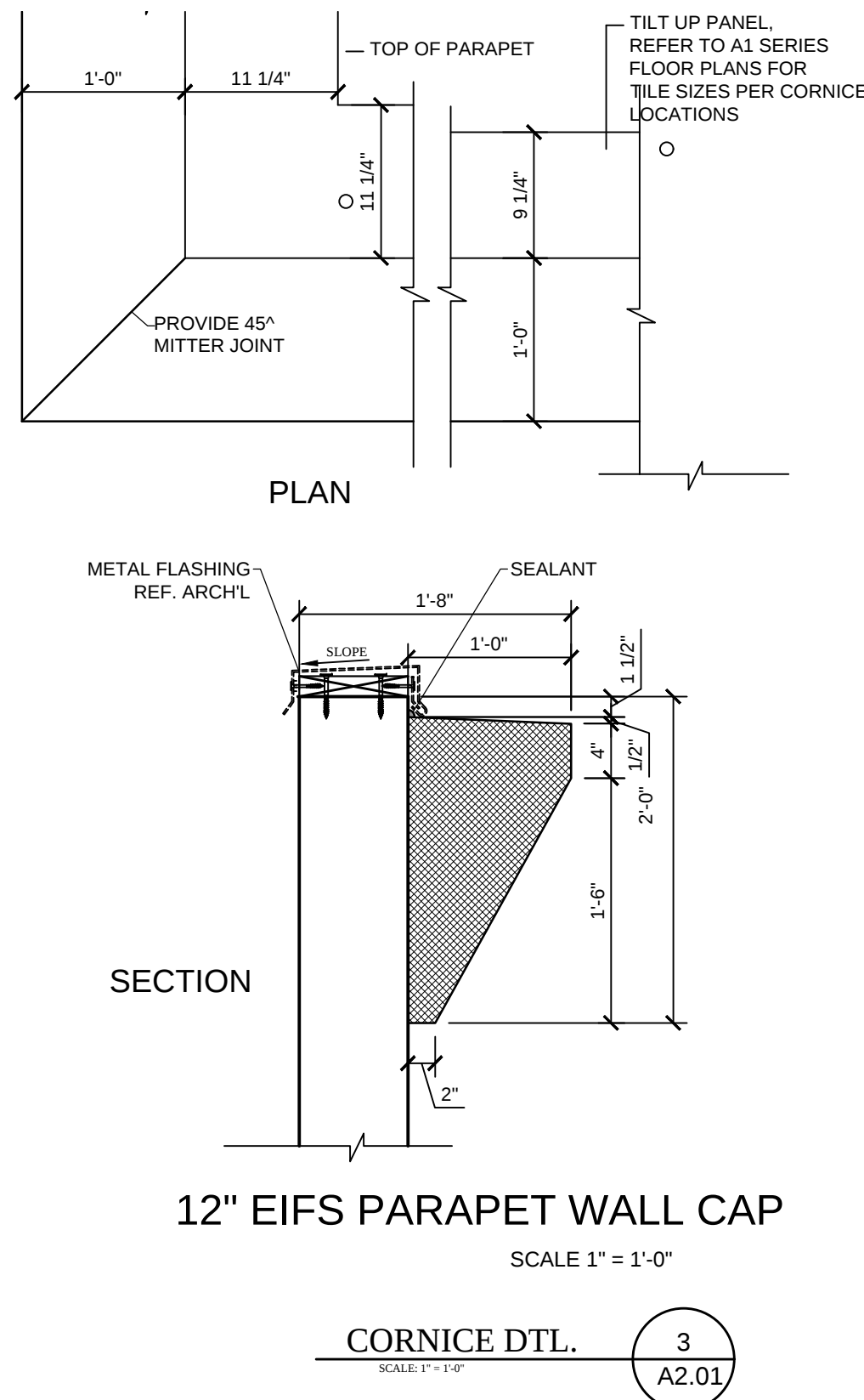
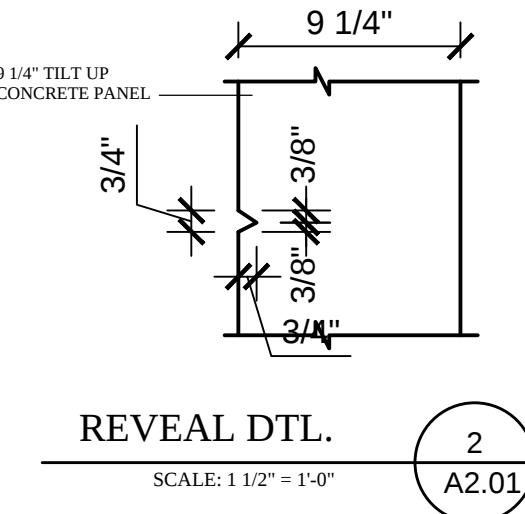
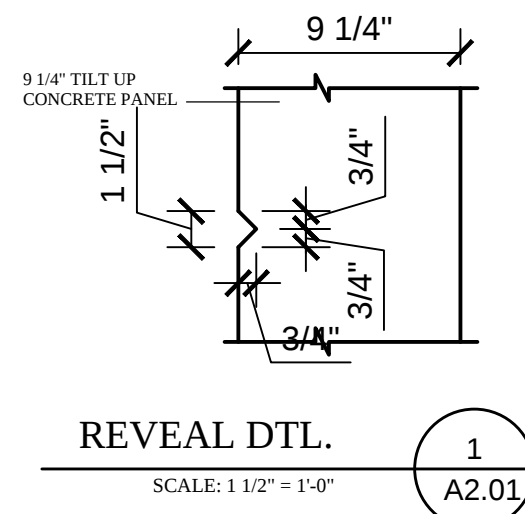
SCALE 1/8"=1'-0"



NORTHEAST ELEVATION

SCALE 1/8"=1'-0"

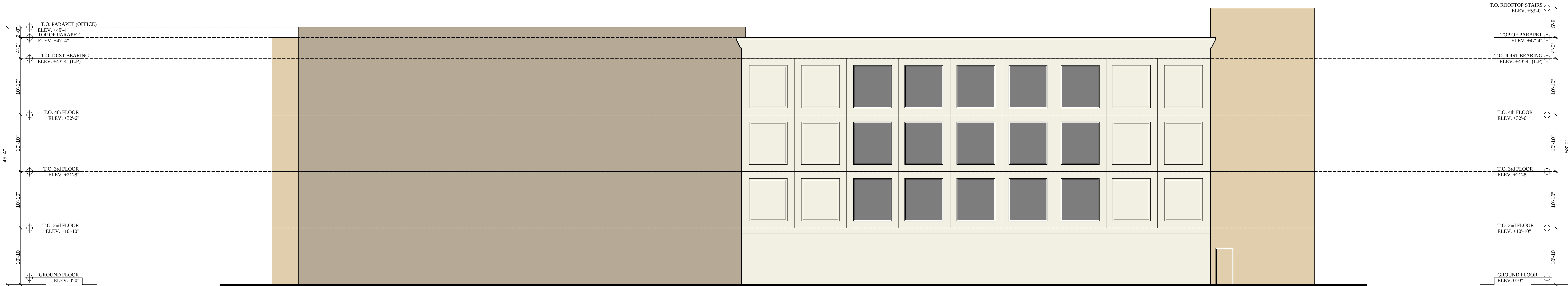
| KEYED EXTERIOR FINISH LEGEND |                                          |                                                         |                                |
|------------------------------|------------------------------------------|---------------------------------------------------------|--------------------------------|
| MARK                         | DESCRIPTION                              | COLOR                                                   | MANUFACTURER (BASIS-OF-DESIGN) |
| 1                            | TEX - COTE OR EQUAL                      | PS Orange                                               | PPG                            |
| 2                            | TEX - COTE OR EQUAL                      | WINTER MOOD                                             | PPG14-16                       |
| 3                            | TEX - COTE OR EQUAL                      | MOTH GRAY                                               | PPG14-29                       |
| 4                            | TEX - COTE OR EQUAL                      | ROLLER COASTER                                          | PPG1008-5                      |
| 5                            | EIFS CORNICE                             | SEE DETAIL 2/A2.01, TO MATCH WALL COLOR                 |                                |
| 6                            | AUTOMATIC DOORS                          | CLEAR ANODIZED ALUM.                                    |                                |
| 7                            | TLT UP PANEL Reveal                      | 1 1/2"; SEE DETAIL 1/A2.01                              |                                |
| 8                            | TLT UP PANEL Reveal                      | 3/4"; SEE DETAIL 2/A2.01                                |                                |
| 9                            | 1 1/2"Ø ALUM. RAILING                    |                                                         |                                |
| 10                           | Painted H.C. Steel Door                  | ROLLER COASTER                                          | PPG1008-5                      |
| 11                           | Aluminum / Glass Imp. Resist. Storefront | Clear glass                                             |                                |
| 12                           | Aluminum / Glass Non-Impact, Storefront  | White Interlayered                                      | 1/4" NON-IMPACT GLASS          |
| 13                           | Aluminum / Glass Non-Impact, Storefront  | Gray Spandrel Non-Translucent                           | 1/4" NON-IMPACT GLASS          |
| 14                           | MECHANICAL GRILL                         | To match wall color                                     | 12"x12"                        |
| 15                           | 6"x6" Painted Galvanized downspout       | (*)                                                     | (*) TO MATCH WALL COLOR        |
| 16                           | 16"x16" Scupper                          |                                                         |                                |
| 17                           | HANGER ARM                               | COOL DARK GRAY                                          | EXTRUDED ALUMINIUM             |
| 18                           | ALUMINUM CANOPY                          | PS ORANGE                                               |                                |
| 19                           | WALL MOUNTED LIGHT FIXTURE               |                                                         |                                |
| 20                           | KNOX BOX, CONFIRM LOC. W/ FIRE DEP       |                                                         |                                |
| 21                           | CORPORATE SIGN                           | STACKED LAYOUT                                          | UNDER SEPARATE PERMIT          |
| 22                           | DOWNSPOUT @ EIFS CORNICE                 | SEE DETAIL 5/A2.01, TO MATCH WALL COLOR                 |                                |
| 23                           | Cast in CMU Texture                      | SOLOCAST SEAMLESS - 8100 1/2 BOND 8x16 SPLIT FACE BLOCK |                                |
| 24                           | MECHANICAL GRILL                         | To match wall color                                     | 12"x24"                        |



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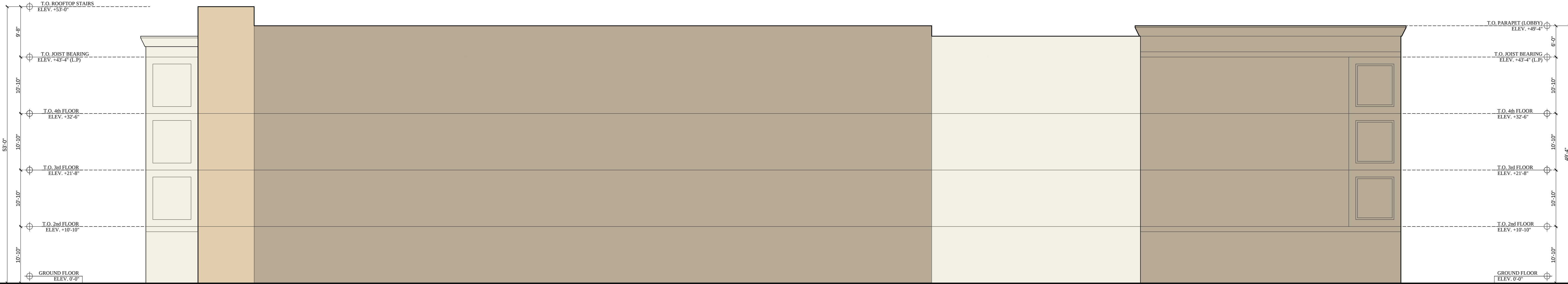
PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT  
14180 NW 77th CT, MIAMI LAKES, FL 33016

Date: 02/12/26  
Scale: AS SHOWN  
Drawn: JM  
Job #: 202504  
Sheet: A2.01  
Of: Sheets



NORTHWEST ELEVATION

SCALE 1/8"=1'-0"

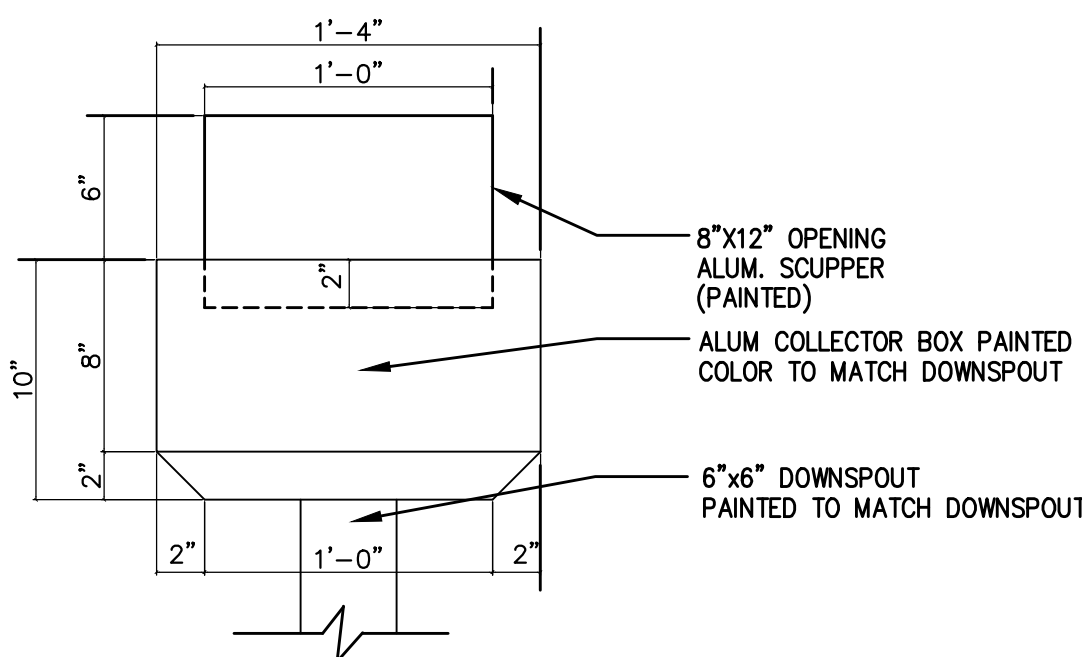


SOUTHWEST ELEVATION

SCALE 1/8"=1'-0"

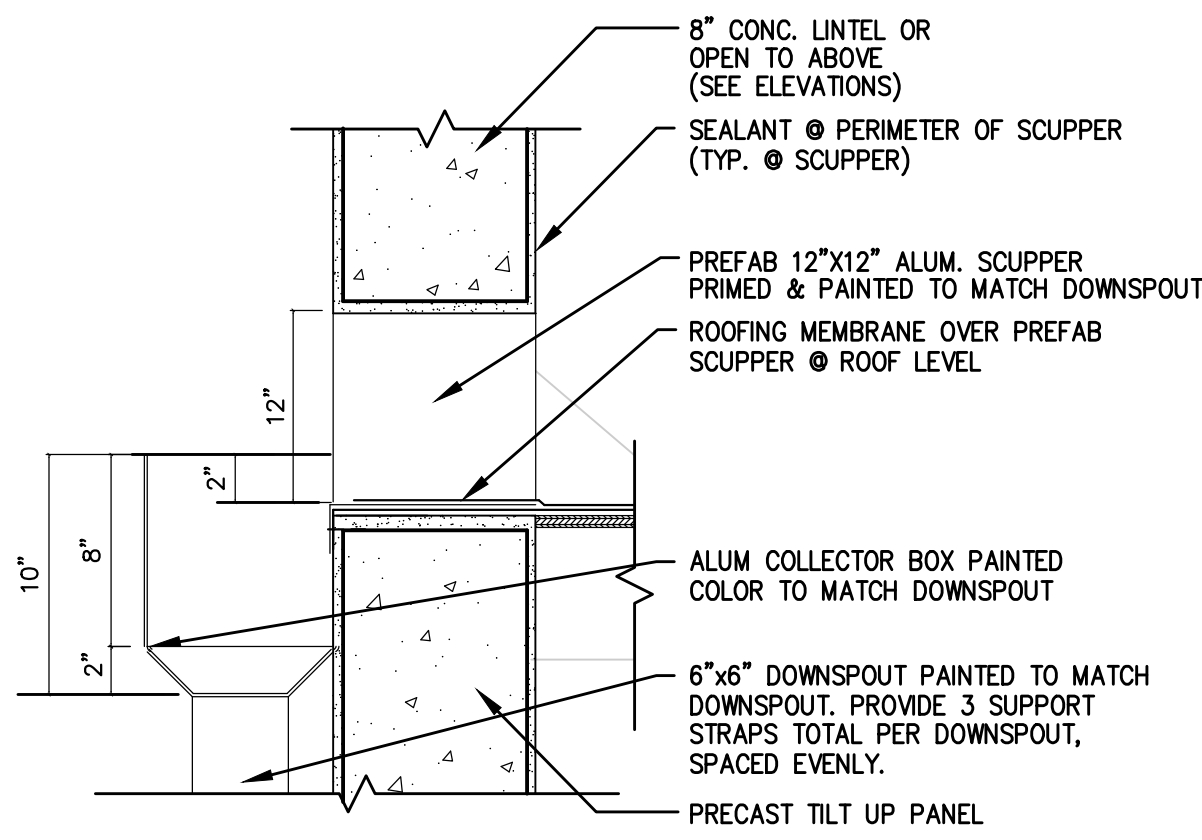
KEYED EXTERIOR FINISH LEGEND

| MARK | DESCRIPTION                              | COLOR                                   | MANUFACTURER (BASIS-OF-DESIGN)                          |
|------|------------------------------------------|-----------------------------------------|---------------------------------------------------------|
| 1    | TEX - COTE OR EQUAL                      | PS Orange                               | PPG                                                     |
| 2    | TEX - COTE OR EQUAL                      | WINTER MOOD                             | PPG14-16                                                |
| 3    | TEX - COTE OR EQUAL                      | MOTH GRAY                               | PPG14-29                                                |
| 4    | TEX - COTE OR EQUAL                      | ROLLER COASTER                          | PPG1008-5                                               |
| 5    | EIFS CORNICE                             | SEE DETAIL 2/A2.01, TO MATCH WALL COLOR |                                                         |
| 6    | AUTOMATIC DOORS                          | CLEAR ANODIZED ALUM.                    |                                                         |
| 7    | TLT UP PANEL Reveal                      | 1 1/2"; SEE DETAIL 1/A2.01              |                                                         |
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| 9    | 1 1/2"Ø ALUM. RAILING                    |                                         |                                                         |
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| 11   | Aluminum / Glass Imp. Resist. Storefront | Clear glass                             |                                                         |
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| 13   | Aluminum / Glass Non-Impact, Storefront  | Gray Spandrel Non-Translucent           | 1/4" NON-IMPACT GLASS                                   |
| 14   | MECHANICAL GRILL                         | To match wall color                     | 12"X12"                                                 |
| 15   | 6"x6" Painted Galvanized downspout       | (*)                                     | (*) TO MATCH WALL COLOR                                 |
| 16   | 16"x16" Scupper                          |                                         |                                                         |
| 17   | HANGER ARM                               | COOL DARK GRAY                          | EXTRUDED ALUMINUM                                       |
| 18   | ALUMINUM CANOPY                          | PS ORANGE                               |                                                         |
| 19   | WALL MOUNTED LIGHT FIXTURE               |                                         |                                                         |
| 20   | KNOX BOX, CONFIRM LOC. W/ FIRE DEP       |                                         |                                                         |
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| 22   | DOWNSPOUT @ EIFS CORNICE                 | SEE DETAIL 5/A2.01, TO MATCH WALL COLOR |                                                         |
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| 24   | MECHANICAL GRILL                         | To match wall color                     | 12"X24"                                                 |



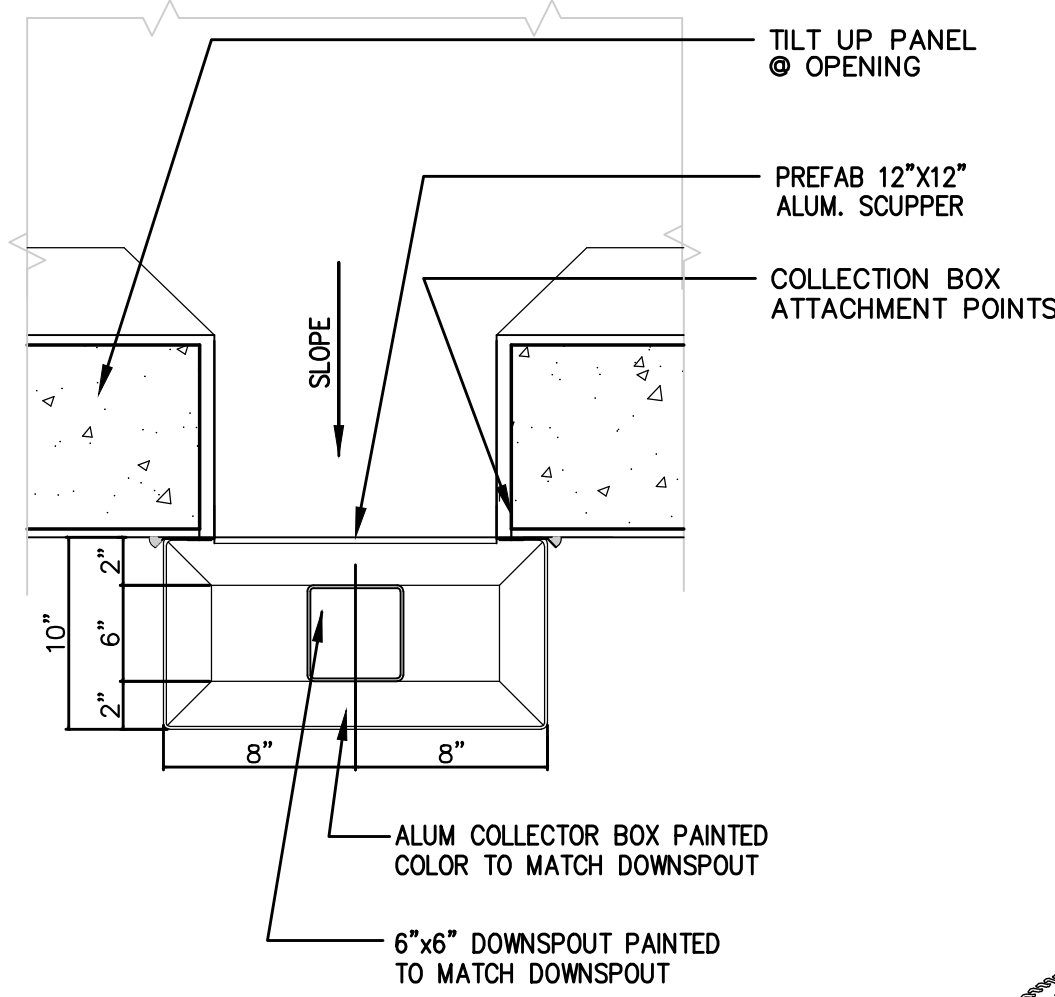
DOWNSPOUT ELEVATION DETAIL

SCALE: 1"=1'-0"



DOWNSPOUT DETAIL SECTION

SCALE: 1"=1'-0"



DOWNSPOUT PLAN VIEW

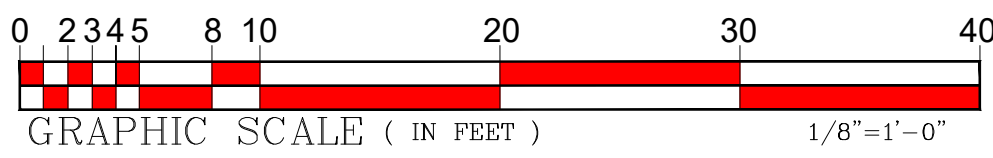
SCALE: 1"=1'-0"

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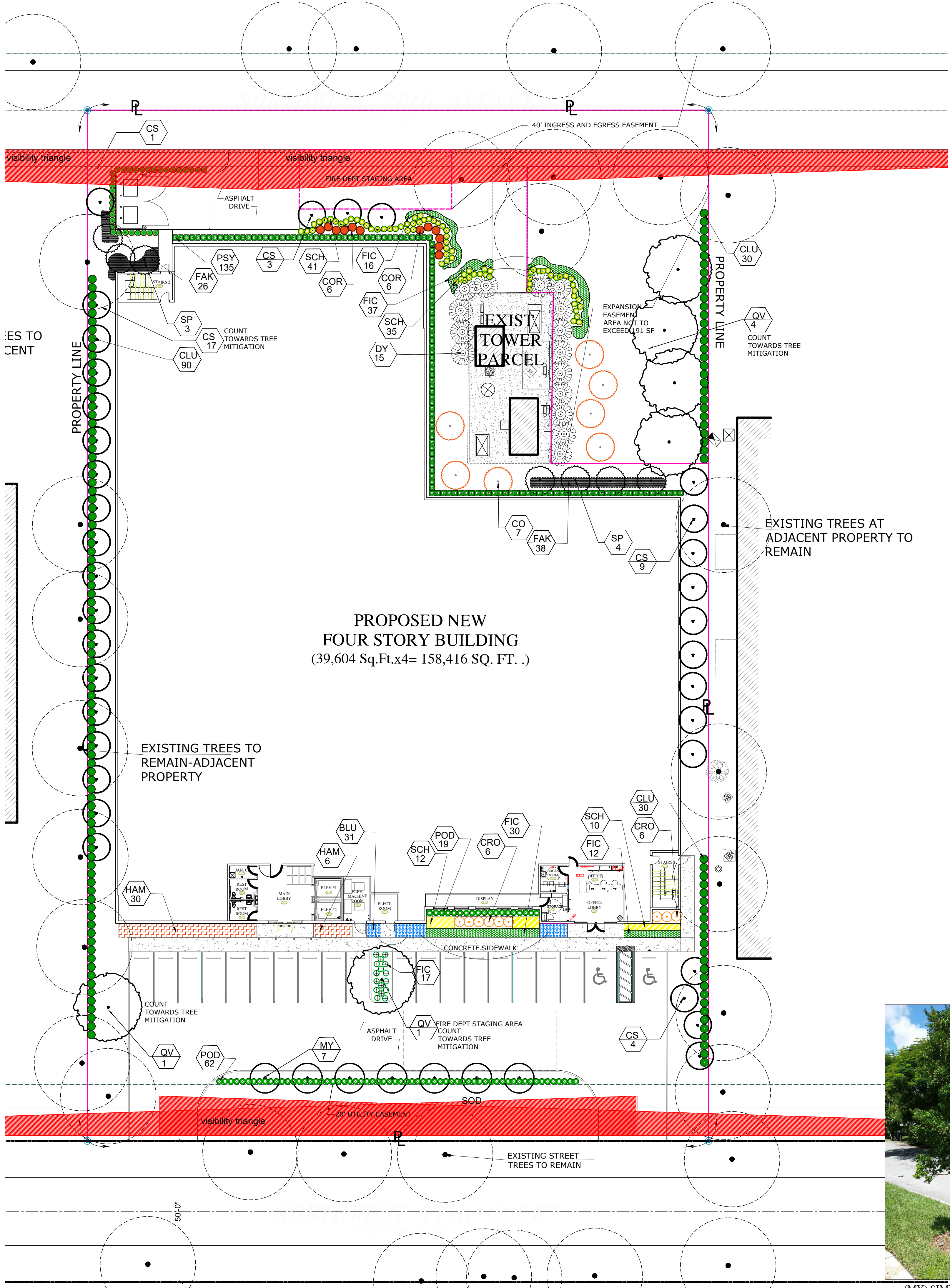
PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT  
14180 NW 77th CT, MIAMI LAKES, FL 33016

Phone:(954) 421-7888

Date 02/12/26  
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Drawn JM  
Job # 202504  
Sheet  
A2.02  
Of Sheets



3001 SW 109 Court  
Miami, Florida 33165  
Off: (305) 551-1262  
EMAIL: marianocorral@comcast.net



**SITE LANDSCAPE PLAN**  
SCALE: 1"=20'  
0 10 20 30 40 50 60 80  
GRAPHIC SCALE 1"=20'

| LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)       |      |               |                               |
|----------------------------------------------------------------------------------------------|------|---------------|-------------------------------|
| Zoning District:                                                                             | IU-C | Net Lot Area: | 1.84 acres 80,300 square feet |
| OPEN SPACE                                                                                   |      | REQUIRED      | PROVIDED                      |
| A. Square feet of open space required by Chapter 33, as indicated on site plan:              |      | SQ.FT         | SQ.FT                         |
| Net lot area = 80,300 square feet x .20 % = 15,938.6 square feet                             |      | 16,060        | 28,416                        |
| B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: |      |               |                               |
| The number of parking spaces 20' x 10 square feet per parking space =                        |      | 200           | 200                           |
| C. Total square feet of landscaped open space required by Chapter 33 = A + B =               |      | 16,260        | 28,616                        |
| LAWN AREA CALCULATION                                                                        |      |               |                               |
| A. Total square feet of landscaped open space required by Chapter 33 =                       |      | 16,060        | 28,252                        |
| B. Maximum lawn area (St. Augustine sod) permitted = .20 % x 80,300 square feet =            |      | 16,060        | 28,252                        |
| TREES                                                                                        |      |               |                               |
| A. The number of trees required per net lot acre                                             |      | 40            | 58                            |
| existing number of trees that meet minimum requirements                                      |      | 4             | 4                             |
| = 22 trees x 1.84 ACRES net lot acreage =                                                    |      |               |                               |
| B. Require Trees based on Mitigation                                                         |      | 25            | 25                            |
| C. 30% palm trees allowed (two palms = one tree) Palms provided = 44 X 30% = 14              |      | 14            | 14                            |
|                                                                                              |      | TOTAL         | 44                            |
| D. Percentage of native trees required = the number of trees provided x 30% =                |      | 14            | 62                            |
| E. Street trees (max. average spacing of 35' o.c.): 220 linear feet along street / 35 =      |      | 12            | 12                            |
| Palms as street trees (max. average spacing 25' o.c.): linear feet along street / 25 =       |      | 0             | 0                             |
| F. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.):  |      | 0             | 0                             |
| F. Total number of trees provided =                                                          |      | 56            | 74                            |
| SHRUBS                                                                                       |      |               |                               |
| A. The total number of trees required x 10 = the number of shrubs required                   |      | 560           | 688                           |
| B. The number of shrubs required x 30% = the number of native shrubs required                |      | 168           | 416 (60%)                     |

| Site Landscape STOR ALL                  |        |                                                           |                              |      |                             |             |        |               |                |           |
|------------------------------------------|--------|-----------------------------------------------------------|------------------------------|------|-----------------------------|-------------|--------|---------------|----------------|-----------|
|                                          |        |                                                           |                              |      |                             |             |        |               | XERISCAPE REQ. | TOLERANCE |
| KEY                                      | QUANT. | BOTANICAL NAMES/ COMMON NAMES                             | HGT                          | SPR  | CALIPER                     | TYPE        | NATIVE | FLOWERS       |                |           |
|                                          |        |                                                           |                              |      |                             | L, M, F, S  |        | FRUITS        | SALT           | DROUGHT   |
| NATIVE AND NON-NATIVES -TREES and PALMS  |        |                                                           |                              |      |                             |             |        |               | HIGH, MED. LOW |           |
| CO                                       | 7      | Cordia sebestana / Orange Geiger Tree                     | 12'                          | 6'   | 2"                          | Small       | YES    | ORANGE        | HIGH           | HIGH      |
| CS                                       | 34     | Conocarpus e. "SERICEUS" / Silver Buttonwood Tree         | 12'                          | 5'   | 2"                          | Small       | YES    | Silver leaves | HIGH           | HIGH      |
| MY                                       | 7      | Myrcianthes fragrans / Simpson's Stopper                  | 10'                          | 4'   | 1 1/2"                      | Small       | YES    | Dark Green    | MEDIUM         | HIGH      |
| QV                                       | 6      | Quercus virginiana / Live Oak Tree                        | 14'                          | 8'   | 3"                          | Large       | YES    | Acoms         | HIGH           | HIGH      |
|                                          | 54     | Total Trees BOLD NAMES = NATIVE PLANTS- 100% NATIVE TREES |                              |      |                             |             |        |               |                |           |
|                                          | 4      | Existing Trees to remain on site                          |                              |      |                             |             |        |               |                |           |
|                                          | 58     | TOTAL OVERALL SITE TREES                                  |                              |      |                             |             |        |               |                |           |
|                                          |        | PALM TREES                                                |                              |      |                             |             |        |               |                |           |
| DY                                       | 16     | Dypsis lutescens / Areca palm trees                       | 14'                          | 6-8" | Min of 8 canes full to base |             | NO     | Fronds        | MEDIUM         | MEDIUM    |
| SP                                       | 7      | Sabal Palmetto "ARMED / Cabbage Palm- ARMED-Native        | 3@ 16'ct, 2@ 12' ct, 2@ 8'ct |      | Palm                        |             | YES    | Fruit         | HIGH           | HIGH      |
| SHRUB PLANT LIST                         |        |                                                           |                              |      |                             |             |        |               |                |           |
| KEY                                      | QUANT. | BOTANICAL NAMES/ COMMON NAMES                             | HGT                          | SPR  | Spacing                     | TEXTURE     |        | Flowers       | XERISCAPE REQ. |           |
|                                          |        |                                                           |                              |      |                             | Course, Med |        | Or            | SALT           | DROUGHT   |
| NATIVE PLANTS - SHRUBS and GROUND COVERS |        |                                                           |                              |      |                             | or Fine     |        | Fruit         | HIGH, MED. LOW |           |
| BLU                                      | 31     | Iris virginica / Blue Flag Iris                           | 12"                          | 6"   | 18" oc                      | Medium      |        | blue          | HIGH           | MEDIUM    |
| CLU                                      | 150    | Clusia rosea / Pitch Apple                                | 30"                          | 24"  | 36" oc                      | MED         | YES    | Fruit         | HIGH           | HIGH      |
| FAK                                      | 64     | Tripsacum dactioides / Fakahatchee Grass                  | 18"                          | 18"  | 24" oc.                     | Fine-Medium | YES    | Light Green   | HIGH           | HIGH      |
| HAM                                      | 36     | Hamelia patens / Firebush                                 | 18"                          | 18"  | 24" oc                      | Med         | YES    | RED FLW       | HIGH           | HIGH      |
| PSY                                      | 135    | Psychotria nervosa / Wild Coffee                          | 24"                          | 24"  | 30" oc.                     | Medium      | YES    |               | HIGH           | HIGH      |
|                                          | 416    | TOTAL NATIVES                                             |                              |      |                             |             |        |               |                |           |
| NON-NATIVE SHRUBS                        |        |                                                           |                              |      |                             |             |        |               |                |           |
| FIC                                      | 112    | Ficus microcarpa "Green Island" / Green Island Ficus      | 18"                          | 18"  | 20" OC                      | Med. Fine   | NO     | Dark Green    | HIGH           | HIGH      |
| SCH                                      | 98     | Schefflera arbuticola "TRINET"                            | 18"                          | 18"  | 30" oc.                     | Medium      | NO     | Yellow Gr     | MEDIUM         | HIGH      |
| POD                                      | 62     | Podocarpus macrophylla "PRINKLES" / Dwarf Japanese Yew    | 24"                          | 24"  | 24" oc                      | Med-Fine    | NO     | Fruit-small   | MEDIUM         | HIGH      |
|                                          | 272    | TOTAL OF NON- NATIVES                                     |                              |      |                             |             |        |               |                |           |
|                                          | 688    | TOTAL COMBINE SHRUBS - 60% Native vs Non- Native          |                              |      |                             |             |        |               |                |           |



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Landscape Architect PA

- Landscape Architecture
- Land Planners
- Urban Planner
- Golf Course Architecture

Member of the American Society of Landscape Architects

**OFFICES IN:**

Corral / Frye Golf Course Design  
Kiawah Island, South Carolina  
1-(843)-364-0278  
Miami, Florida  
1-(305) 551-1262

EMAIL: marianocorral@comcast.net  
Forty Four years of Professional Practice

**PROJECT**  
STORE ALL WAREHOUSE

14180 nw 77TH Court  
Miami Lakes, Florida 33016

**OWNER**  
STORE ALL WAREHOUSE

14180 nw 77TH Court  
Miami Lakes, Florida 33016

**ARCHITECT**  
FELIX PARDO &  
ASSOCIATES, INC

ARCHITECTURE/ PLANNING/ INTERIORS  
2100 SALZEDO STREET, SUITE 305  
CORAL GABLES, FL 33134  
T. 305. 445-5353 F. 305.445.7006

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These designs and drawings are COPYRIGHTED and are the property of Mariano Corral Landscape Architect, PA and MAY NOT be reproduced except with specific written consent FROM the Landscape Architect.

The contractor and his sub-contractors must check and verify all the work on the drawings such as: dimensions, planting design with the plant list, details, and survey of the job and is responsible for same and reporting any discrepancies to the Landscape Architect before commencing any work for clarification.

No drawings shall be scale.

Owner and Contractor agrees, understand and accept by the implementation and utilization of these plans that the Landscape Architect is not responsible for the Means and Methods of Construction. This is the sole responsibility of the General Contractor and any of his sub-contractors. This includes the following: Hardscape design, finished materials, plant Material installation, selection of plant materials at the nursery, method of transportation, and any tree relocation methods, or branch and root pruning procedures. Follow ANSI 300 as is applicable.

All irrigation designs are conceptual in nature, and adjustments may be performed by the Irrigation Contractor, or even re-designs due to field conditions, lack of water pressure, and the type of soil conditions unknown to L.A. As long as the design has 100% coverage, 100% overlap, and proper water management procedures are use, GC to verify for any contaminated water above and below ground with civil engineers and environmental engineers prior to beginning work.

It is highly recommended that the Landscape Contractor become familiar with any City's or County standard code minimum requirements where the work is to be performed as to height, spread and caliper of trees, along with the shrubs. Do not specify gallon containers as a means for hiding. Use the sizes specify on plant list by L.A. Any area of the design not understood, contact landscape Architect for clarification. Plan will always take precedence over plant list quantities.

SCALE: AS SHOWN  
PROJECT NUMBER: 11-032026-VH  
DRAWN BY: MC  
CHECKED BY: MC  
DATE: 03-13-26

REVISIONS:  
1 05-11-26  
2 06-10-26

Know what's below.  
Call before you dig.  
IT'S THE LAW!

VALID CERTIFIED DIGITAL SIGNATURE: SEAL:

MARIANO CORRAL LANDSCAPE ARCHITECT LIC.# LA 6666671

SHEET NUMBER: LP-1

OF:

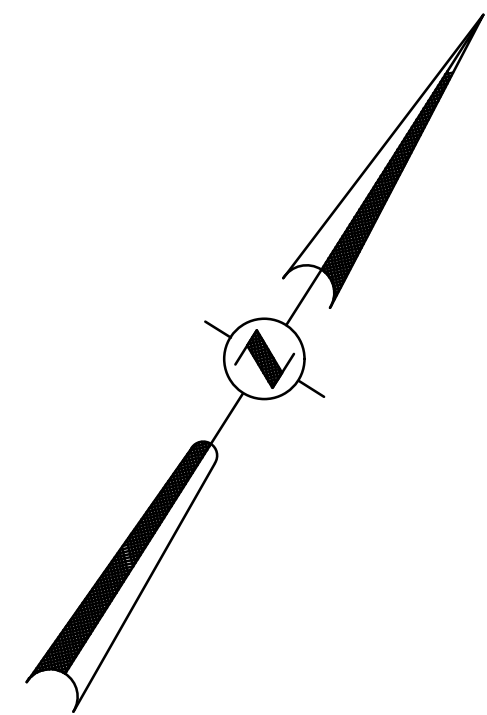
PROCESS NUMBER

PERMIT NUMBER

3001 NW 89th Court  
Miami, Florida 33165  
OFF: (305) 591-1262  
EMAIL: marianocorral@comcast.net



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!



SCALE 1" = 20'

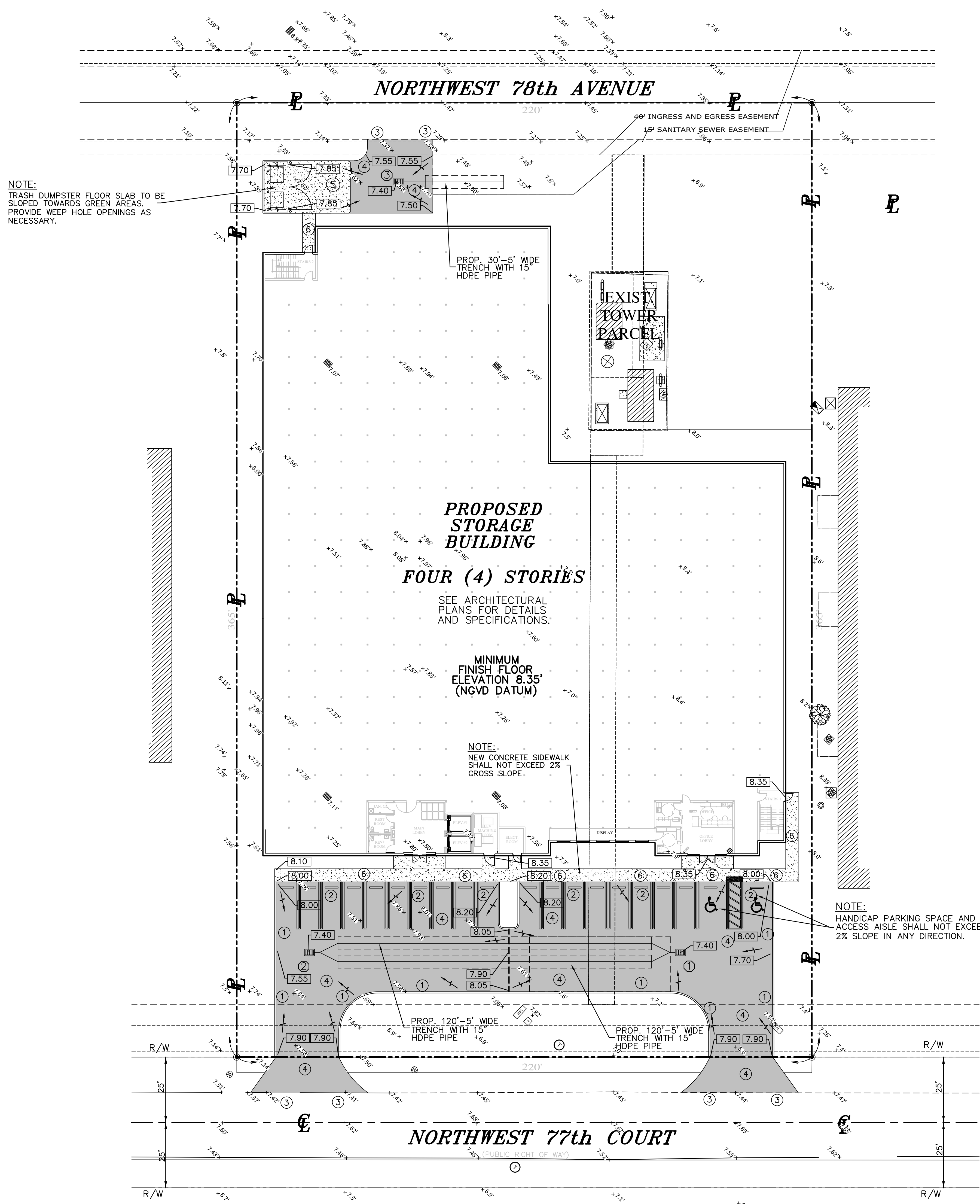
#### LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING ELEVATION
- 10.9 PROPOSED ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED GEOGRID FABRIC
- RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PROP. TYPE "F" CURB & GUTTER
- ① DRAINAGE STRUCTURE NUMBER

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- NEW 6" TYPE "D" CONCRETE CURB
- NEW WHEEL STOP/BUMPER
- EXISTING PAVEMENT LINE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- NEW CONCRETE SIDEWALK
- NEW 4" PAINTED STRIPING (DOUBLE)
- NEW 4" PAINTED WHITE STRIPING
- NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
- NEW PAINTED DIRECTIONAL ARROW
- NEW 24" WIDE PAINTED WHITE STOP BAR THERMOPLASTIC
- NEW STOP SIGN (R1-1)
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- NEW HANDICAP RAMP (1:12 MAX SLOPE)
- NEW 3' MINIMUM DETECTABLE WARNING
- NEW 6" YELLOW W/15" WHITE 5' O.C.
- NEW 2-6" YELLOW-T STRIPING
- NEW LIGHT POLES
- NEW 2' TYPE "F" CURB & GUTTER
- NEW 2' VALLEY GUTTER
- NEW ELECTRIC VEHICLE PARKING SIGN
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# PAVING, GRADING & DRAINAGE PLAN



#### NOTE TO CONTRACTOR:

ALL EXISTING DRIVEWAYS NOT NOT USED SHALL BE REMOVED AND REPLACED WITH SIDEWALK AND CURB & GUTTER AS PER FLORIDA DEPARTMENT OF TRANSPORTATION AND/OR MIAMI DDADE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS. MATCH TO EXISTING.

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#### NOTE TO CONTRACTOR

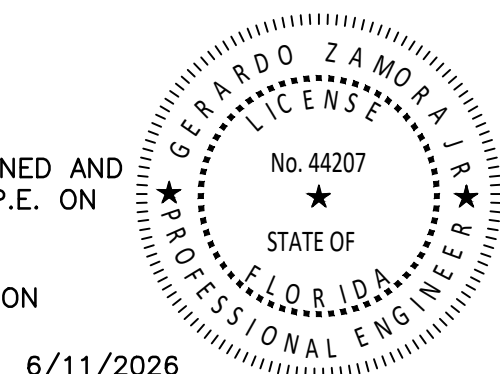
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- Engineer is not responsible for the safety of the excavation or design and construction of any shoring.

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THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SEAL:

GERARDO ZAMORA JR.  
P.E. No. 44207  
E.B. 0006791  
STATE OF FLORIDA

PROJECT No. 2026-36

DATE: 6/5/2026

**ZAMORA & ASSOCIATES, INC.**  
ENGINEERING LAND PLANNING  
6601 SOUTHWEST 80th STREET SUITE 109  
SOUTH MIAMI, FLORIDA 33143 (305) 273-7801

| REVISIONS | BY |
|-----------|----|
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**FELIX PARDO & ASSOCIATES, Inc.**  
ARCHITECTURE / PLANNING / INTERIORS  
2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134  
Phone: (305) 445-4555 Fax: (305) 445-7006 AA 0002478

**PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT**  
14180 NW 77th CT, MIAMI LAKES, FL 33016

Phone:(954) 421-7888

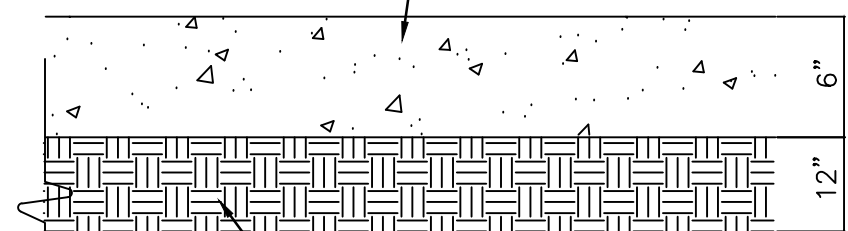
|       |          |
|-------|----------|
| Date  | 02/12/26 |
| Scale | AS SHOWN |
| Drawn | JM       |
| Job # | 202504   |
| Sheet | C-1      |
| Of    | Sheets   |

# PAVING & DRAINAGE DETAILS PLAN

## GENERAL NOTES:

- All materials and labor under the project shall conform to the Miami-Dade County Public Works Department, Florida Department of Transportation (FDOT) and the Miami-Dade County DERM Standards and Specifications.
- For site dimensions and geometry see Site Plan prepared by Felix Pardo & Associates, P.A. Architects, and also the Boundary Survey
- Elevations shown are based on N.G.V. Datum and as shown on Survey.
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- The Contractor shall restore all areas disturbed by this construction to a condition equal to, or better than, that now existing.
- Typical Pavement Section:  
2.0" Type S-III Asphaltic Concrete surface course 8" Limerock base (Minimum LBR 100), compact to 98% of maximum density as determined by AASHTO T-180 and 6" concrete slab on well compacted subgrade compact to 98% of maximum density as determined by AASHTO T-180.
- Fill shall be placed in 12" layers loose thickness, measured and compacted to 95% of maximum density as determined by AASHTO T-180. Fill shall be locally acceptable and suitable for fill purposes. The top 12" of fill or cut (Minimum LBR 40) under pavement base shall be compacted to 98% of maximum density as determined by AASHTO T-180.
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- The property is located in flood zone AE,elevation 6.00 feet.
- Water level elevation as determined by Miami-Dade County DERM W.C. 2.2A is at Elevation 3.50 Feet NGV Datum.
- Background information obtained from Boundary Survey prepared by E.R. Brownell & Associates, inc. Professional Land Surveyors.
- All signage and markings shall conform to the requirements of Miami-Dade County, Florida.
- This properties tax folio identification number is
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- Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials. Limerock bearing ratios, sieve analysis and densities required by contract documents shall be submitted to the City.
- Minimum transverse slope of the pavement shall be one percent for parking areas.

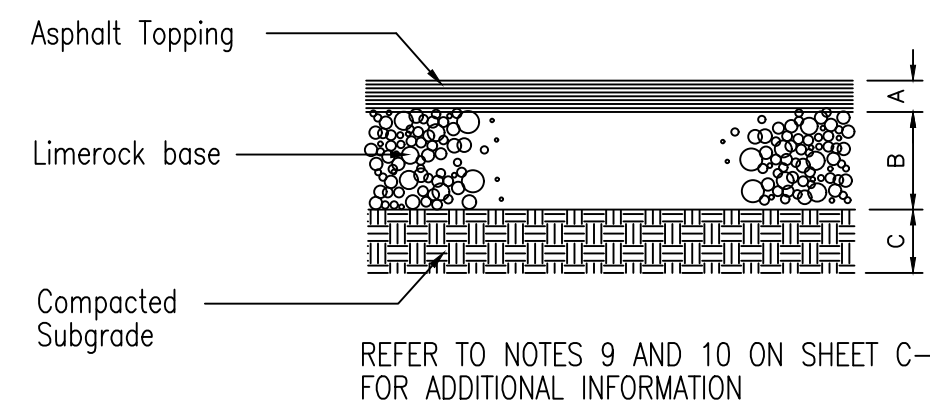
COMPRESSIVE STRENGTH 3500  
PSI AT 28 DAYS.



CONCRETE PAVEMENT DETAIL

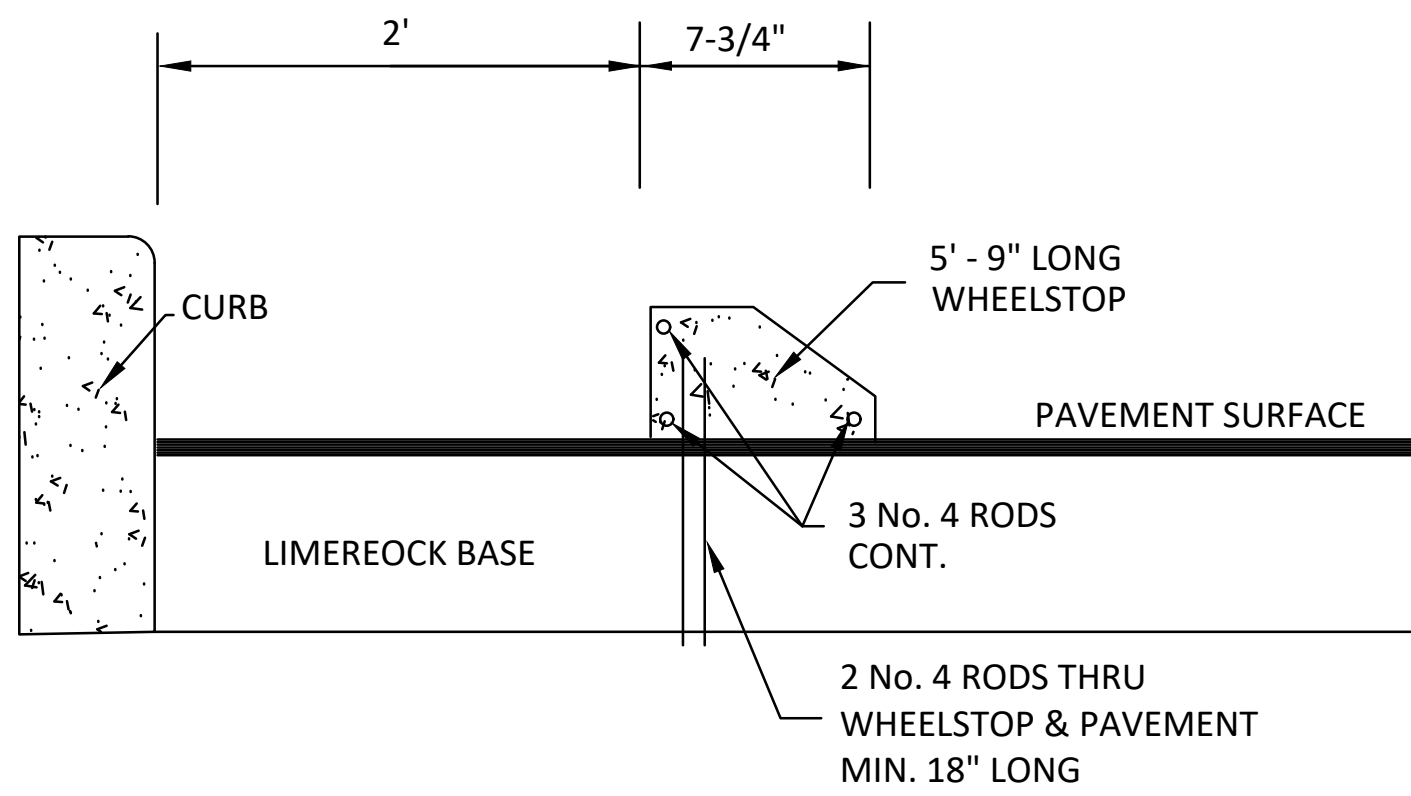
COMPRESSIVE STRENGTH 3500  
PSI AT 28 DAYS.

WELL COMPACTED SUBGRADE  
95% COMPACTED DENSITY

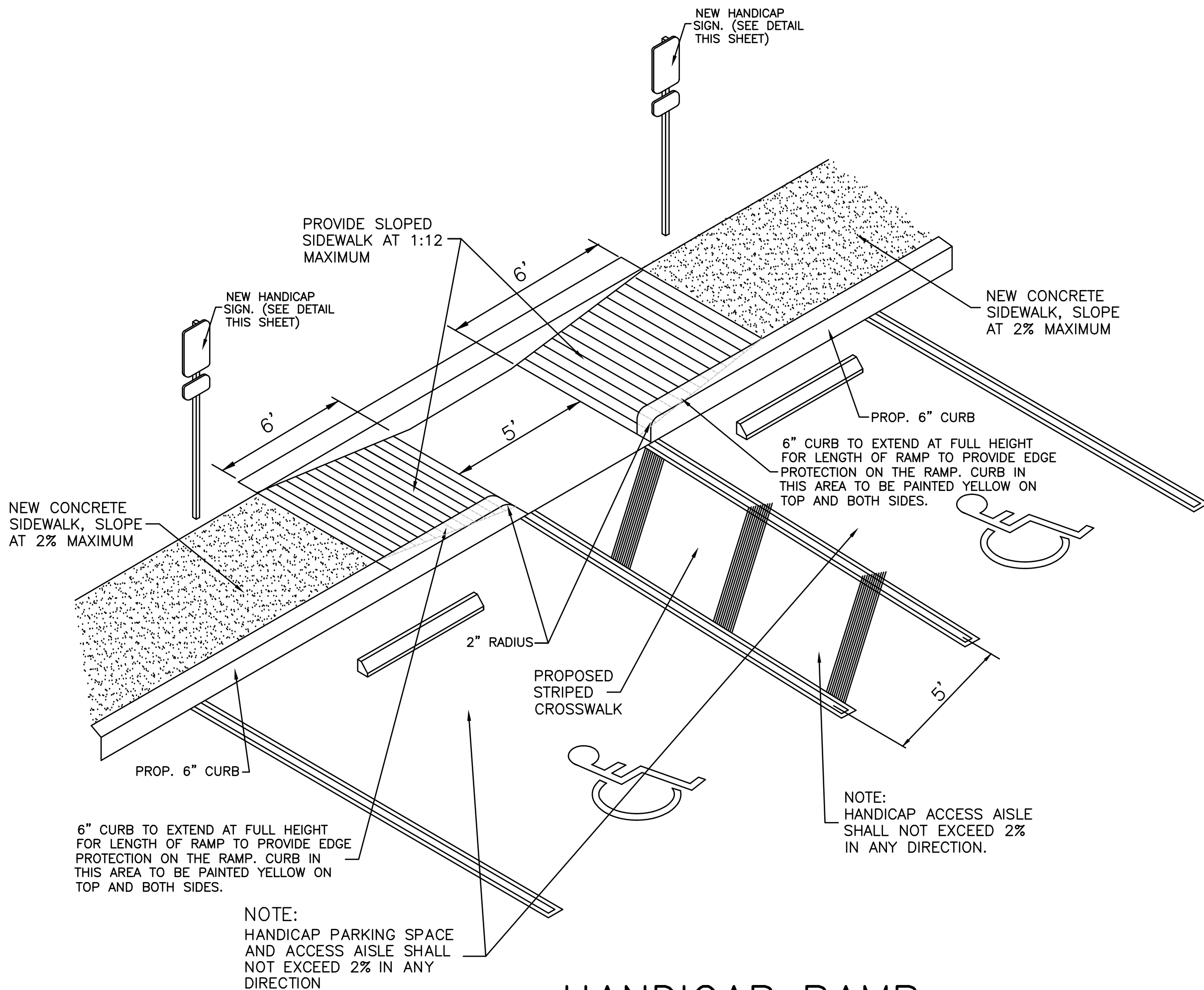


| DIMENSION & TYPE |      |    |     |
|------------------|------|----|-----|
| Concrete Section | A    | B  | C   |
| STANDARD         | 2.0" | 8" | 12" |

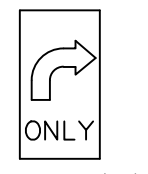
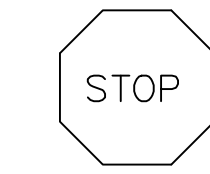
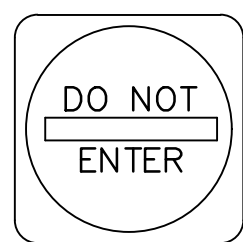
ASPHALT PAVEMENT DETAIL



WHEEL STOP DETAIL

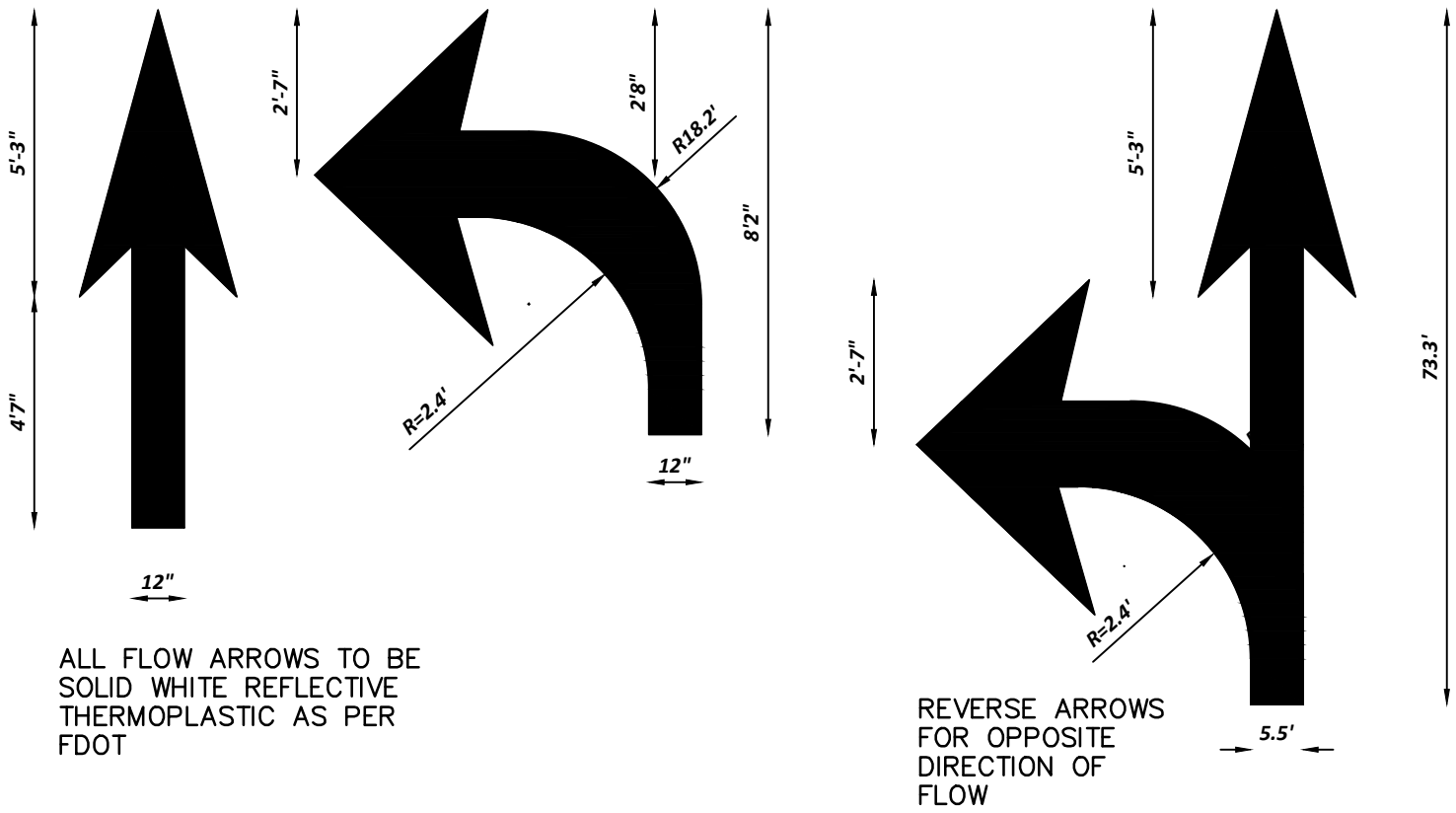


HANDICAP RAMP

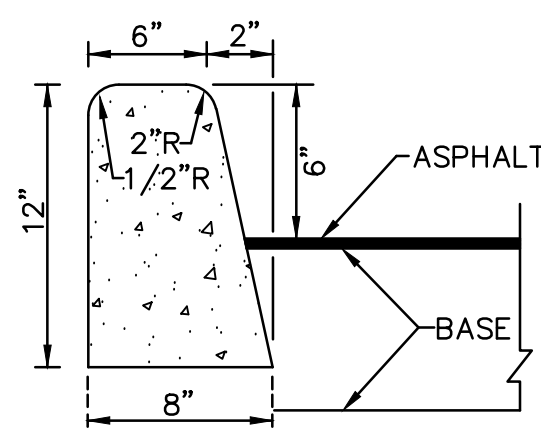


TRAFFIC SIGNS

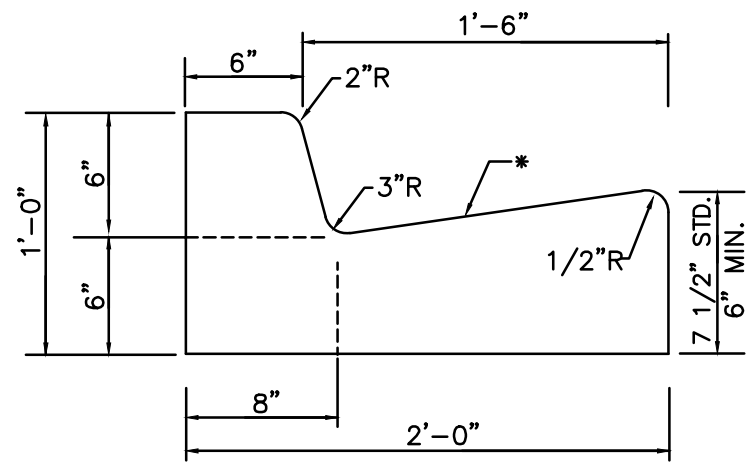
SIGNS ARE TO BE MOUNTED ON FLANGED POST



DIRECTIONAL ARROWS

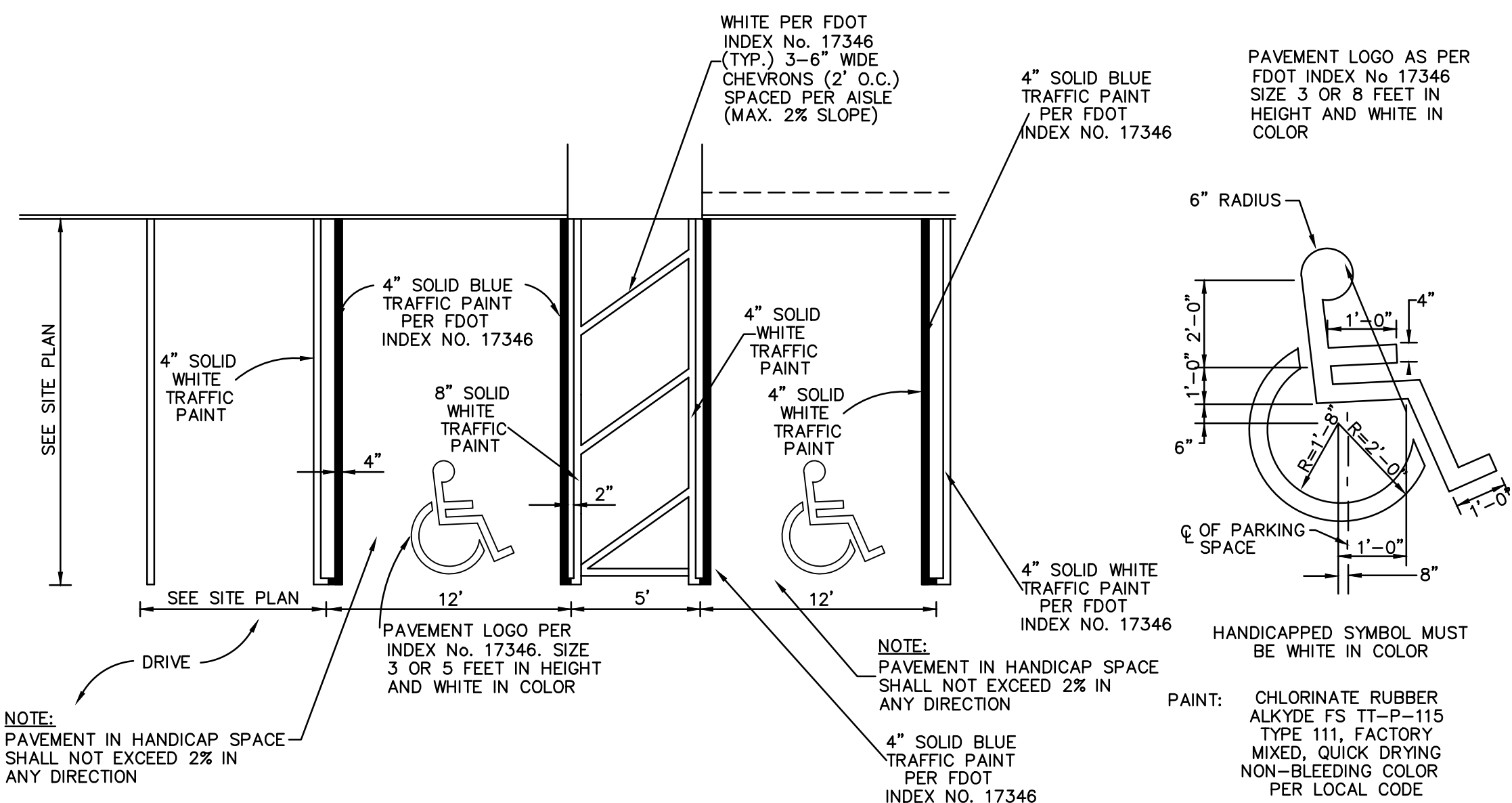


CURB DETAIL



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS

TYPE F CURB

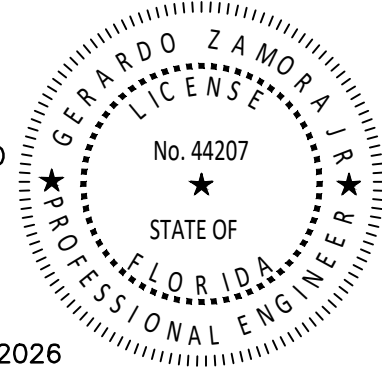


TYPICAL PARKING SPACES MARKINGS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GERARDO ZAMORA JR P.E. ON THE DATE ADJACENT TO THE SEAL.

THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

6/11/2026



SEAL:

GERARDO ZAMORA JR. P.E.  
CIVIL ENGINEER  
P.E. No. 44207  
E.B. 0006791  
STATE OF FLORIDA

PROJECT No. 2026-36 DATE: 6/5/2026

**ZAMORA & ASSOCIATES, INC.**  
ENGINEERING LAND PLANNING  
6601 SOUTHWEST 80th STREET SUITE 109  
SOUTH MIAMI, FLORIDA 33143 (305) 273-7801

| REVISIONS | BY |
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FELIX PARDO & ASSOCIATES, Inc.  
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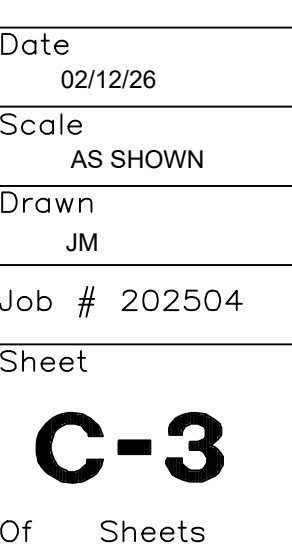
Phone:(954) 421-7888

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| Date  | 02/12/26 |
| Scale | AS SHOWN |
| Drawn | JM       |
| Job # | 202504   |
| Sheet | C-2      |

Of Sheets

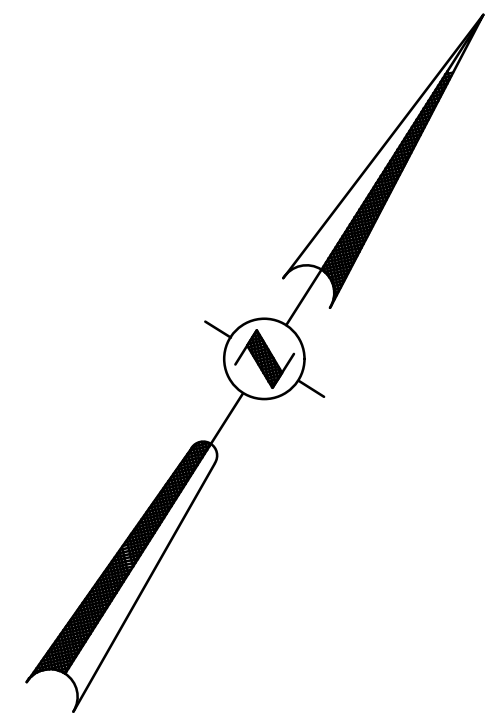
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 Phone: (305) 445-4555 Fax: (305) 445-7006 AA 0002478





Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!



SCALE 1" = 20'

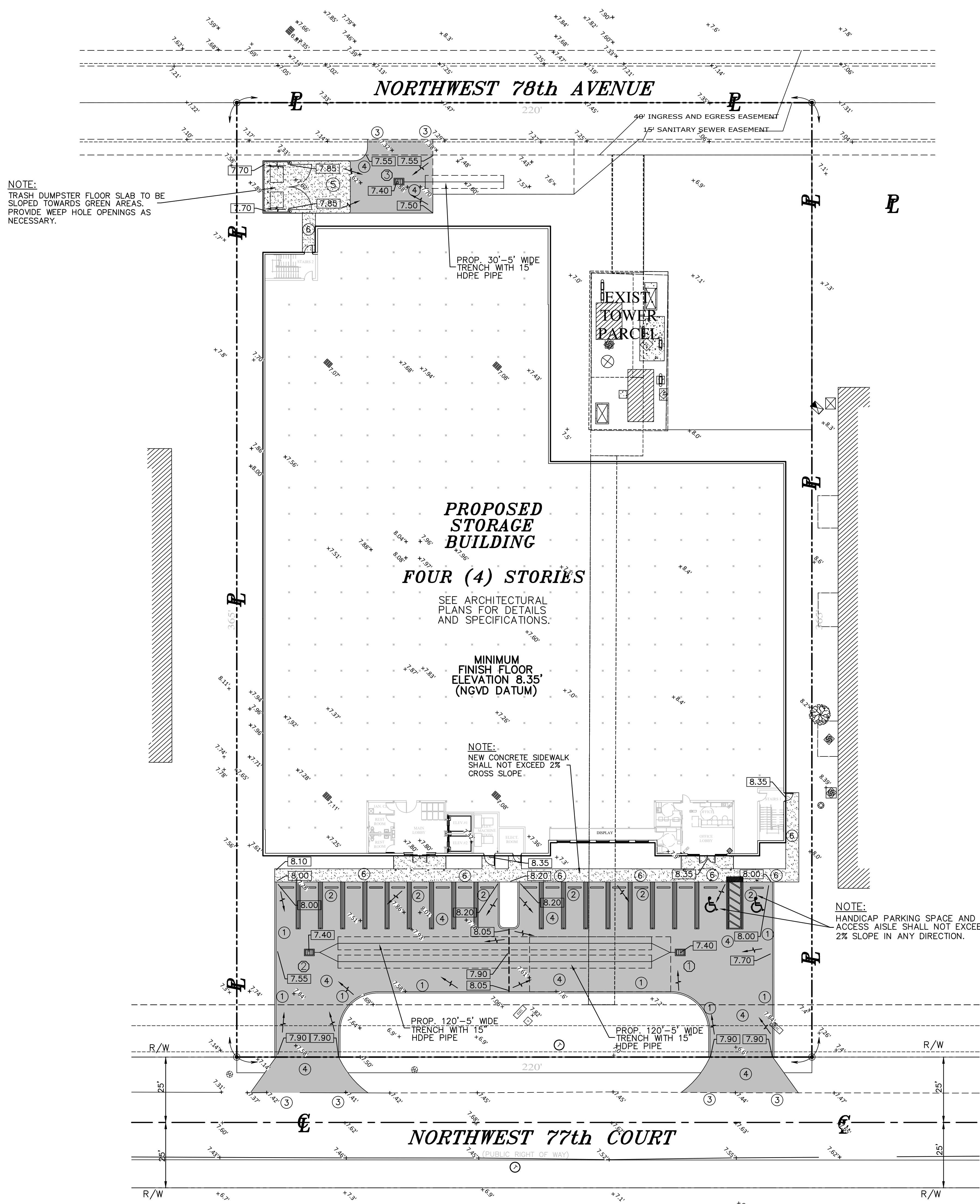
#### LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
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- 10.9 PROPOSED ELEVATION
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- PROPOSED ASPHALT PAVEMENT
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- NEW 6" TYPE "D" CONCRETE CURB
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# PAVING, GRADING & DRAINAGE PLAN



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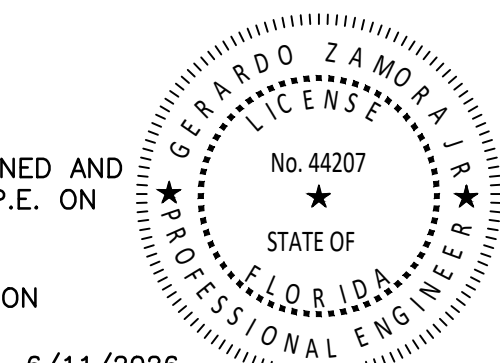
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STATE OF FLORIDA

PROJECT No. 2026-36

DATE: 6/5/2026

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| REVISIONS | BY |
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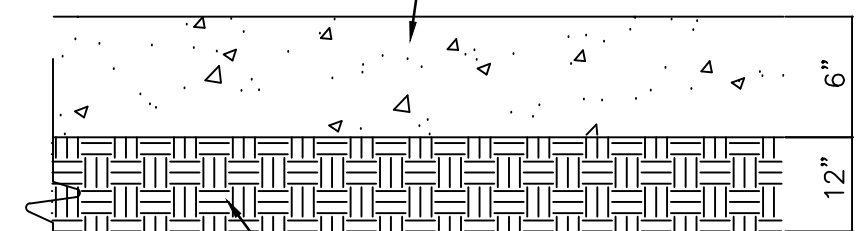
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|-------|----------|
| Date  | 02/12/26 |
| Scale | AS SHOWN |
| Drawn | JM       |
| Job # | 202504   |
| Sheet | C-1      |
| Of    | Sheets   |

# PAVING & DRAINAGE DETAILS PLAN

## GENERAL NOTES:

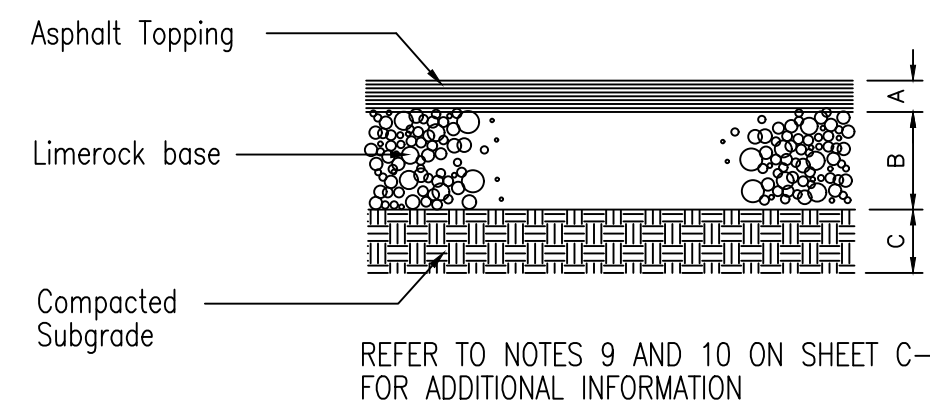
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COMPRESSIVE STRENGTH 3500  
PSI AT 28 DAYS.



WELL COMPACTED SUBGRADE  
95% COMPACTED DENSITY

## CONCRETE PAVEMENT DETAIL

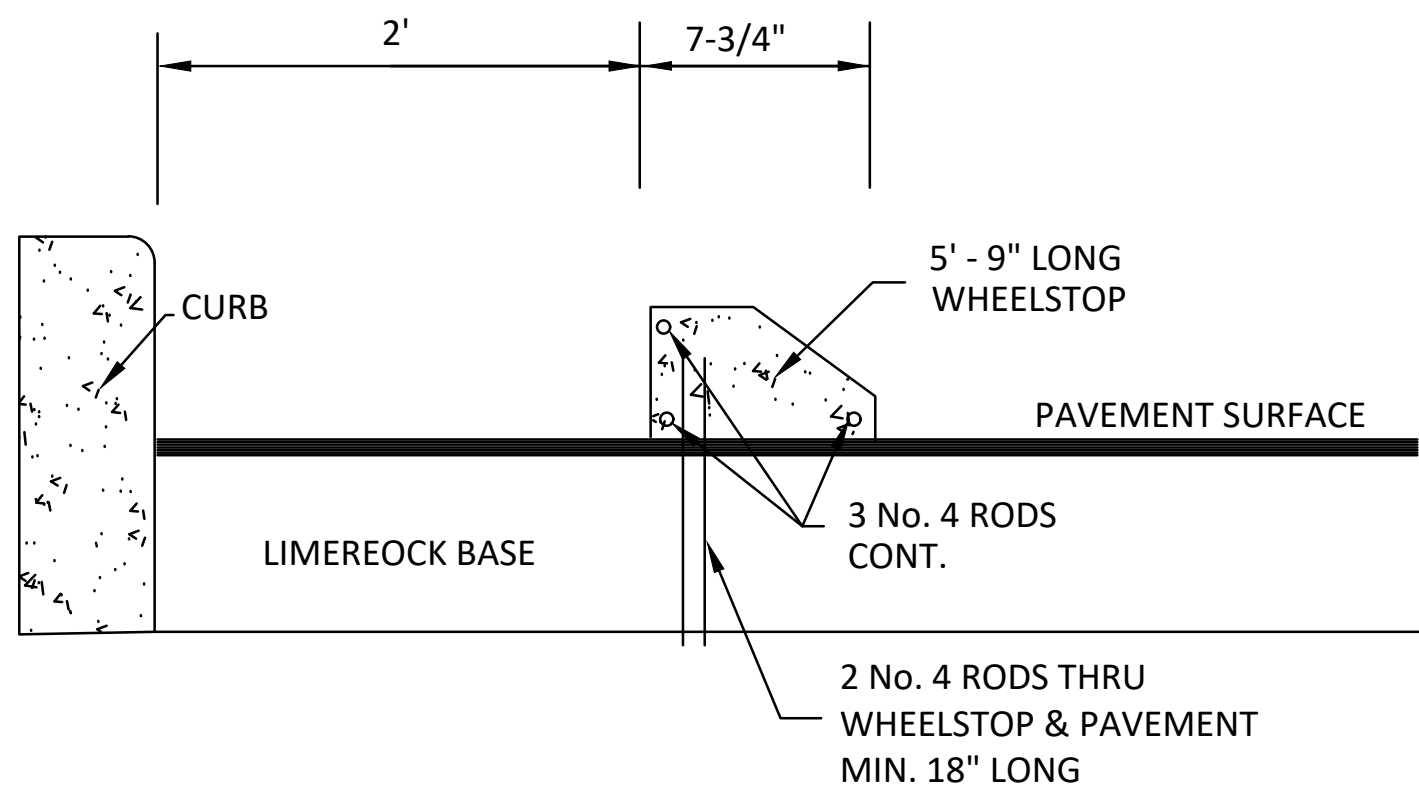


REFER TO NOTES 9 AND 10 ON SHEET C-1  
FOR ADDITIONAL INFORMATION

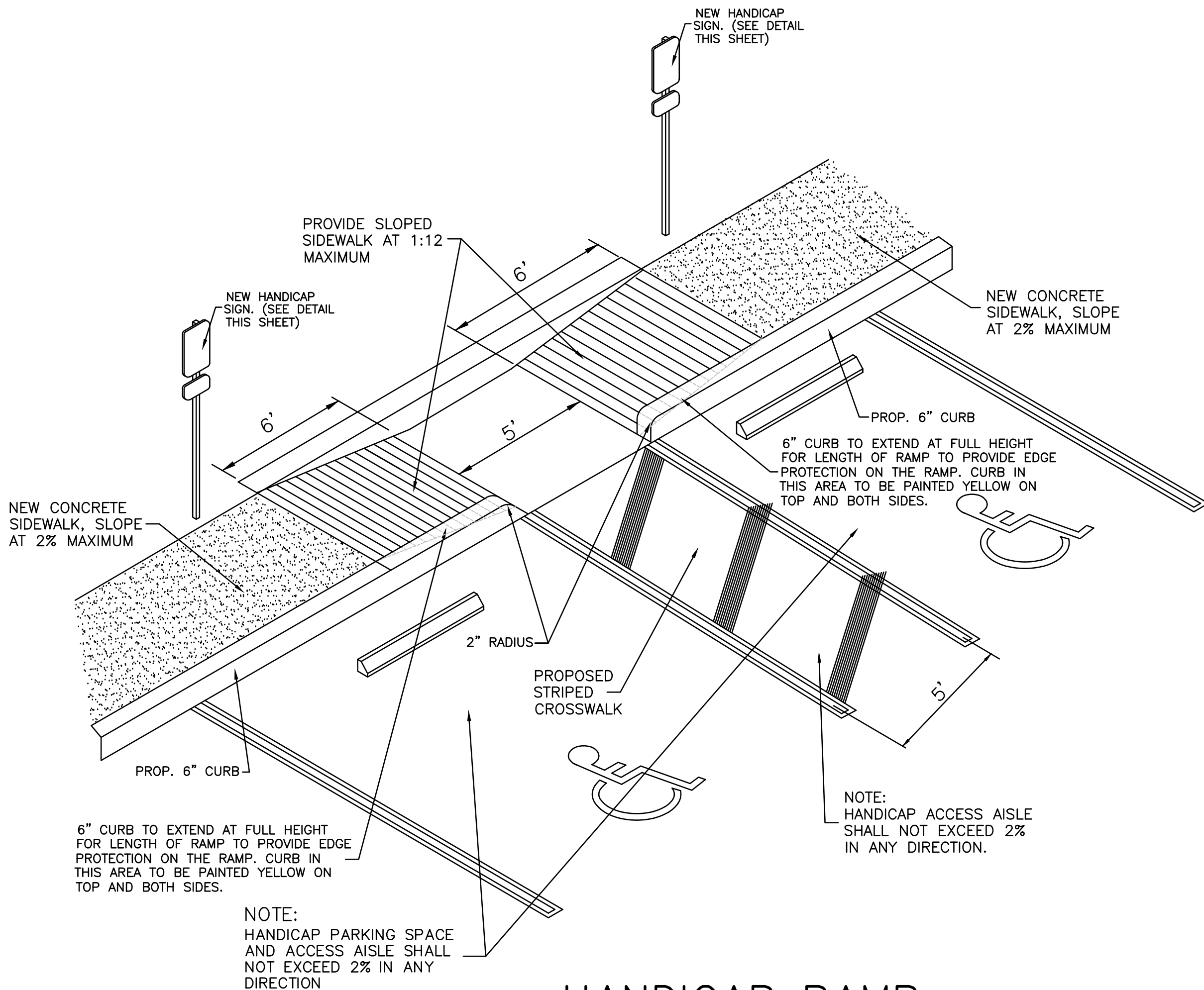
## DIMENSION & TYPE

| Concrete Section<br>STANDARD | A    | B  | C   |
|------------------------------|------|----|-----|
|                              | 2.0" | 8" | 12" |

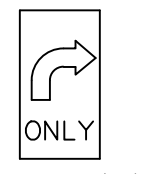
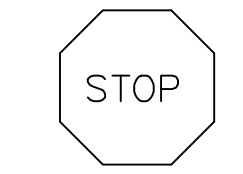
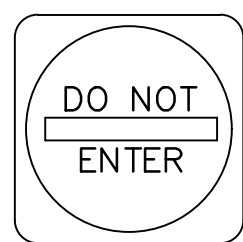
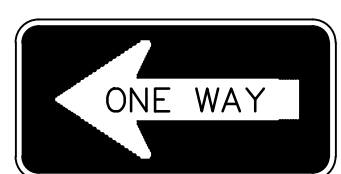
## ASPHALT PAVEMENT DETAIL



## WHEEL STOP DETAIL

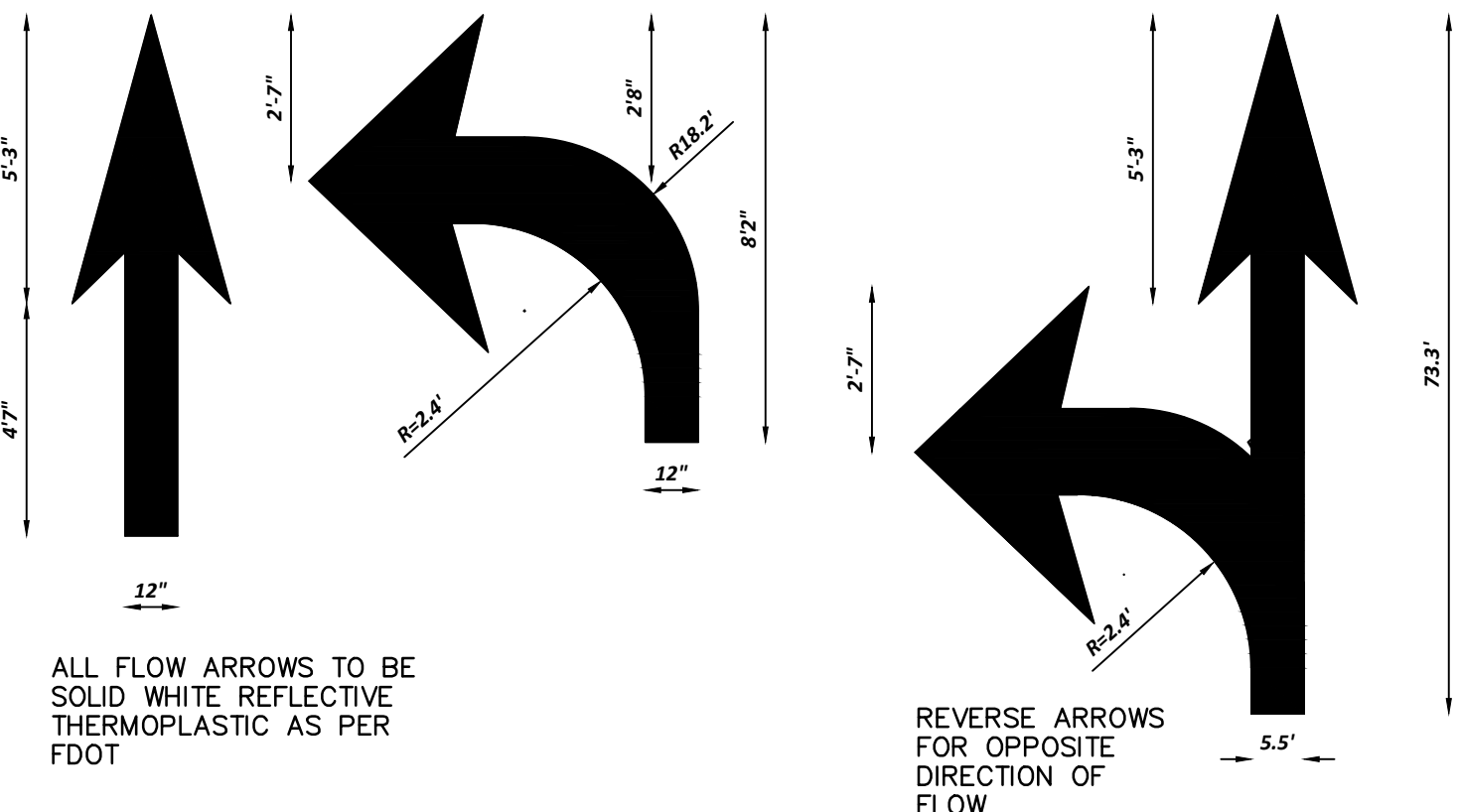


## HANDICAP RAMP

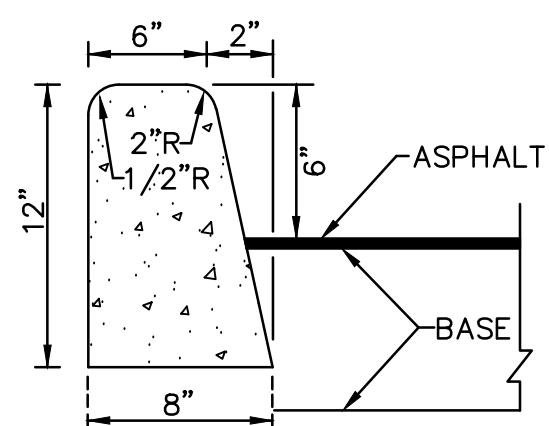


## TRAFFIC SIGNS

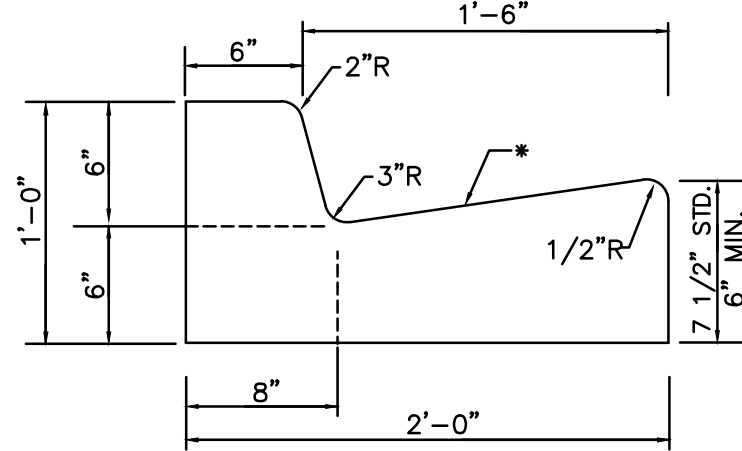
SIGNS ARE TO BE MOUNTED ON FLANGED POST



## DIRECTIONAL ARROWS

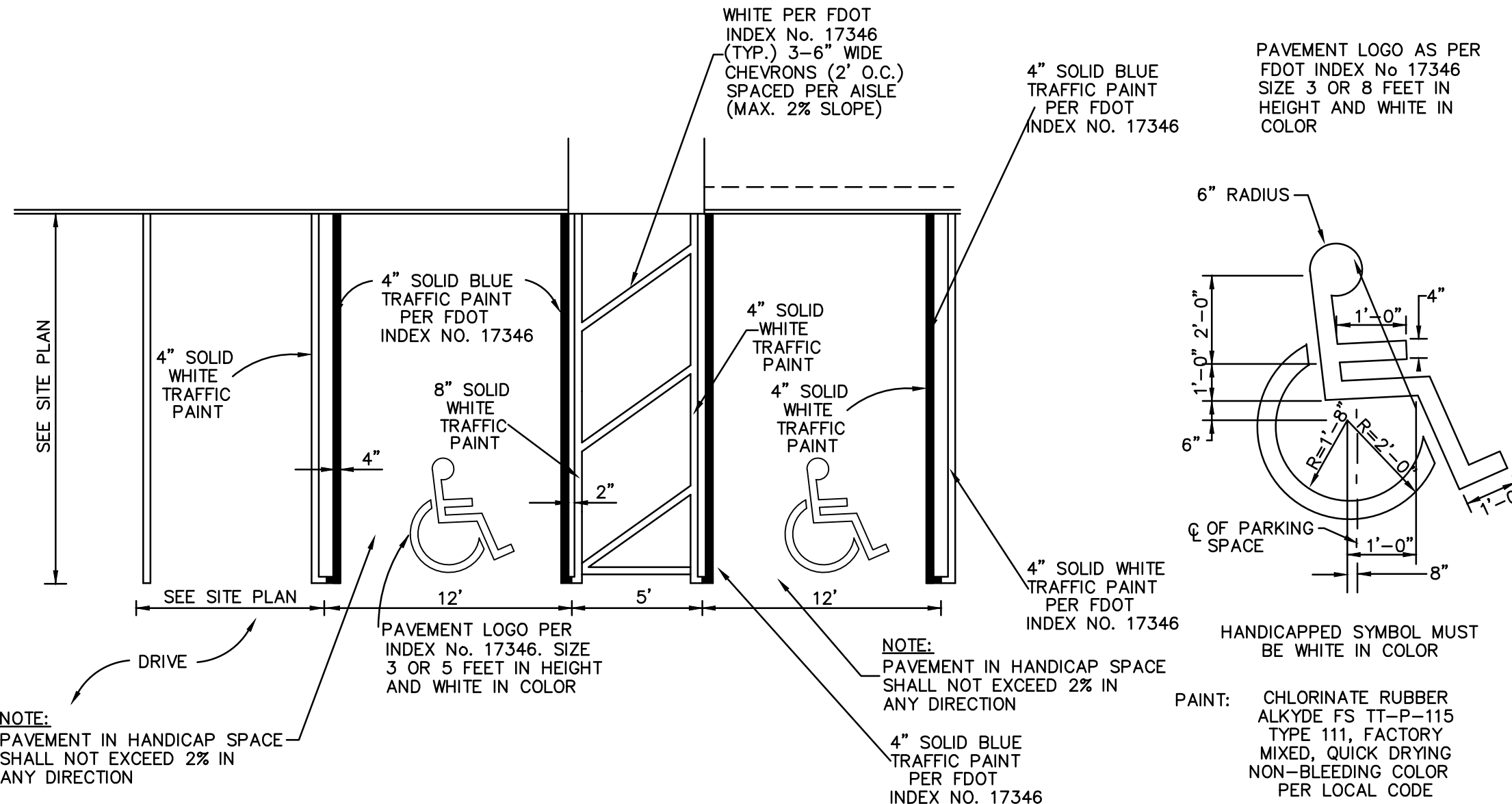


## CURB DETAIL



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS  
SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE  
OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP  
SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS

## TYPE F CURB

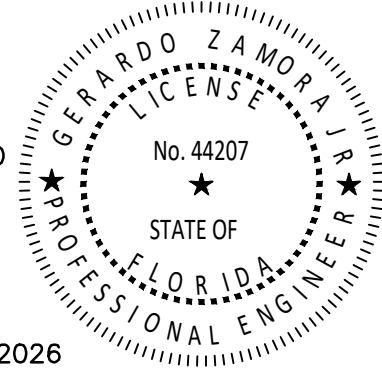


## TYPICAL PARKING SPACES MARKINGS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND  
SEALED BY GERARDO ZAMORA JR P.E. ON  
THE DATE ADJACENT TO THE SEAL.

THE SIGNATURE MUST BE VERIFIED ON  
ANY ELECTRONIC COPIES.

6/11/2026



SEAL:

GERARDO ZAMORA JR P.E.  
CIVIL ENGINEER  
P.E. No. 44207  
E.B. 0006791  
STATE OF FLORIDA

PROJECT No. 2026-36

DATE: 6/5/2026

**ZAMORA**  
& ASSOCIATES, INC.  
ENGINEERING LAND PLANNING

6601 SOUTHWEST 80th STREET SUITE 109  
SOUTH MIAMI, FLORIDA 33143 (305) 273-7801

FELIX PARDO & ASSOCIATES, Inc.  
ARCHITECTURE / PLANNING / INTERIORS  
2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA.  
Phone: (305) 445-4555 Fax: (305) 445-7006 AA 0002478

PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT  
14180 NW 77th CT, MIAMI LAKES, FL 33016

Phone(954)421-7888

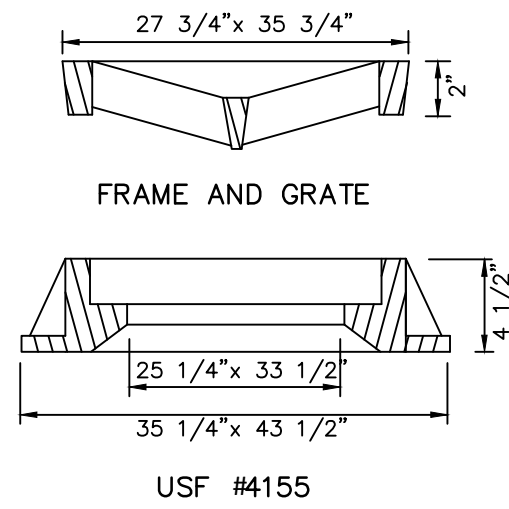
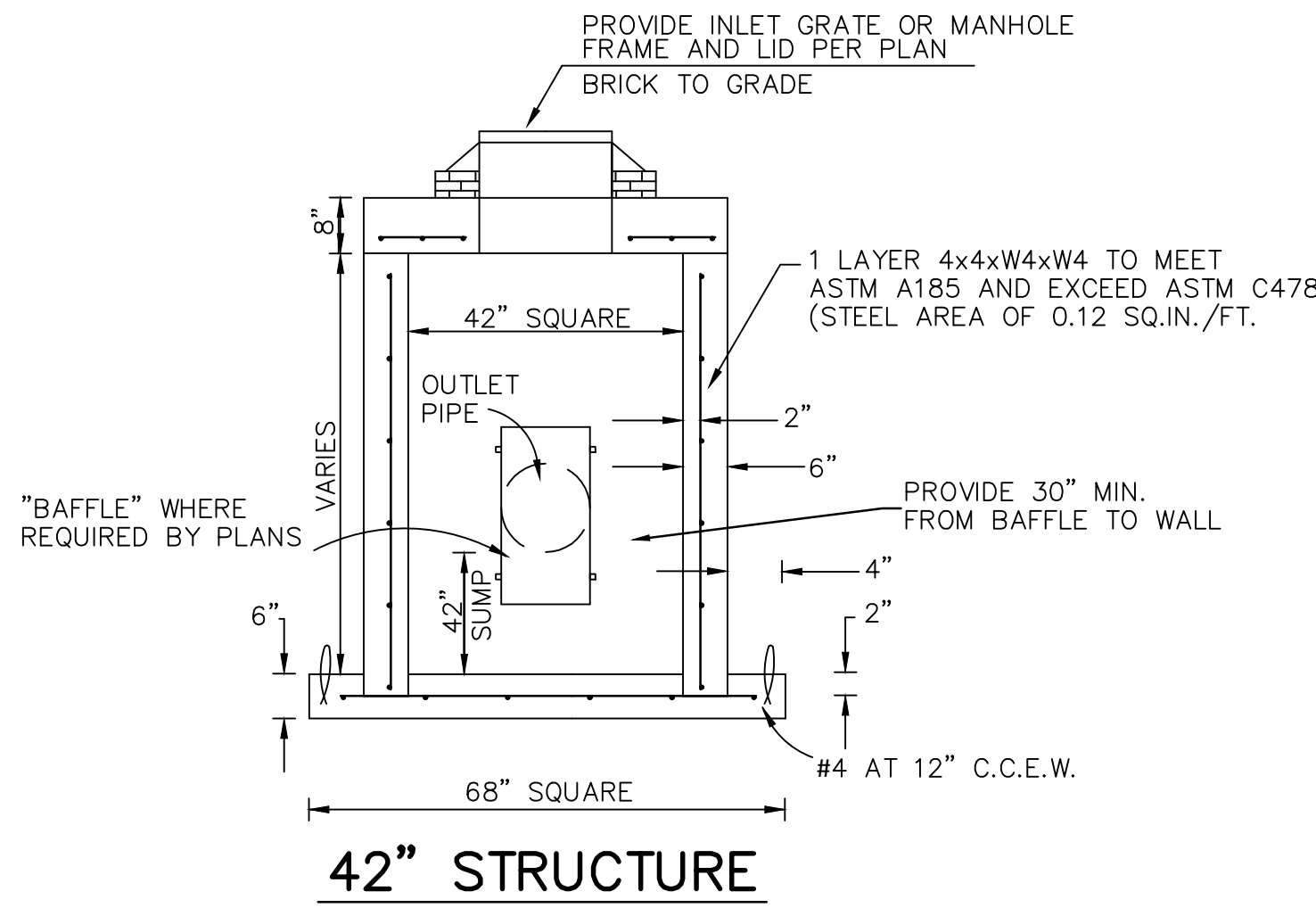
Date 02/12/26  
Scale AS SHOWN  
Drawn JM  
Job # 202504  
Sheet

**C-2**

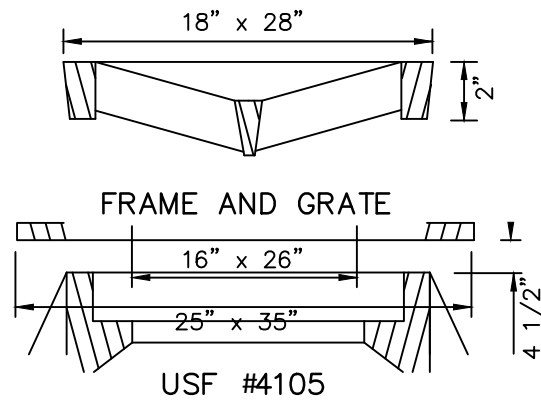
Of Sheets

PAVING & DRAINAGE DETAILS PLAN

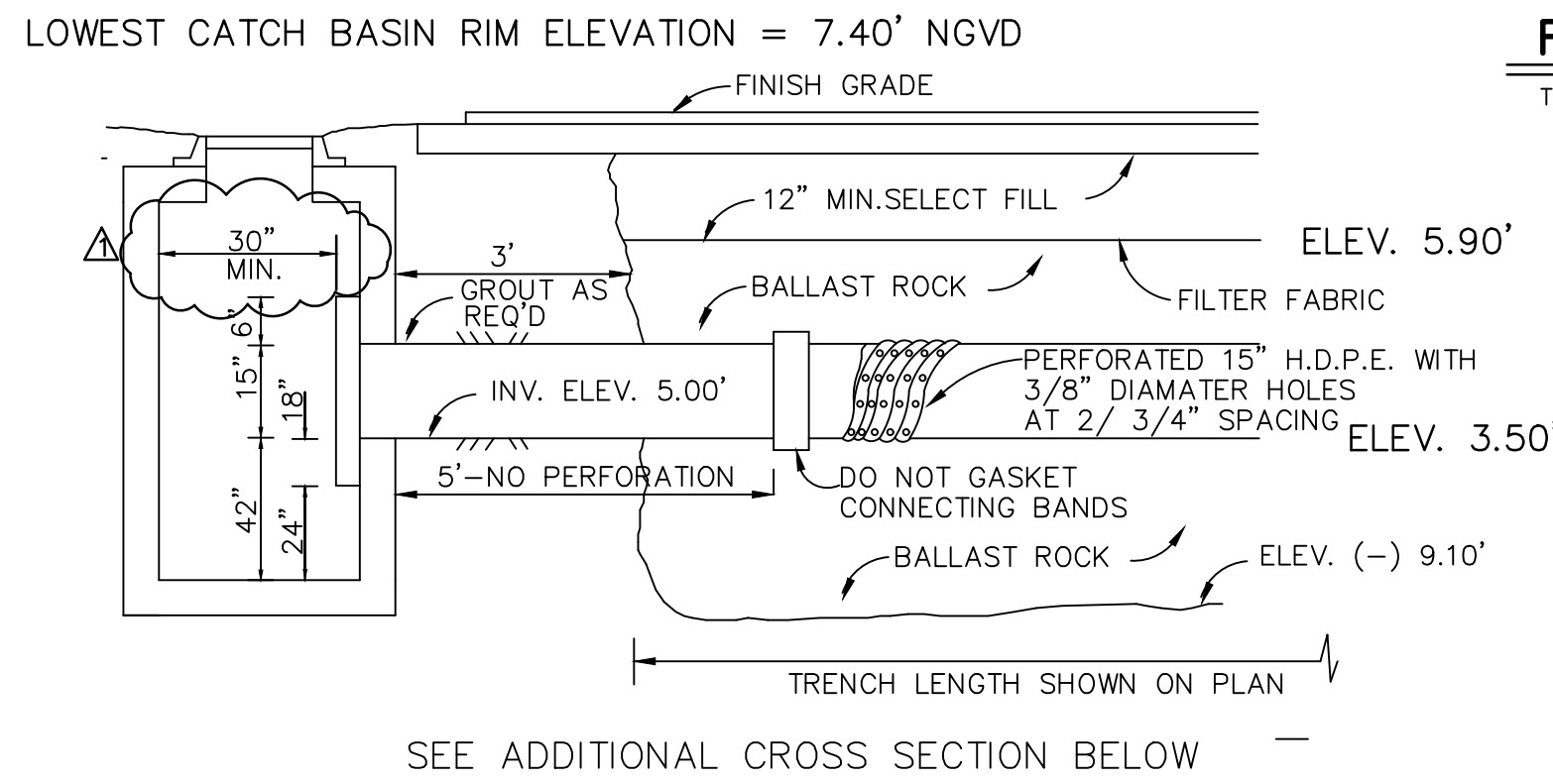
| STRUCTURE TABLE |           |           |              |              |                      |          |
|-----------------|-----------|-----------|--------------|--------------|----------------------|----------|
| NO.             | TYPE      | RIM ELEV. | BOTTOM ELEV. | INVERT ELEV. | BAFFLES (12" Ø PIPE) | LOCATION |
| 1               | 42" INLET | 7.40'     | (+) 0.00'    | (+) 3.50'    | 1                    | SOUTH    |
| 2               | 42" INLET | 7.40'     | (+) 0.00'    | (+) 3.50'    | 1                    | WEST     |
| 3               | 42" INLET | 7.40'     | (+) 0.00'    | (+) 3.50'    | 1                    | EAST     |
|                 |           |           |              |              |                      |          |
|                 |           |           |              |              |                      |          |
|                 |           |           |              |              |                      |          |
|                 |           |           |              |              |                      |          |
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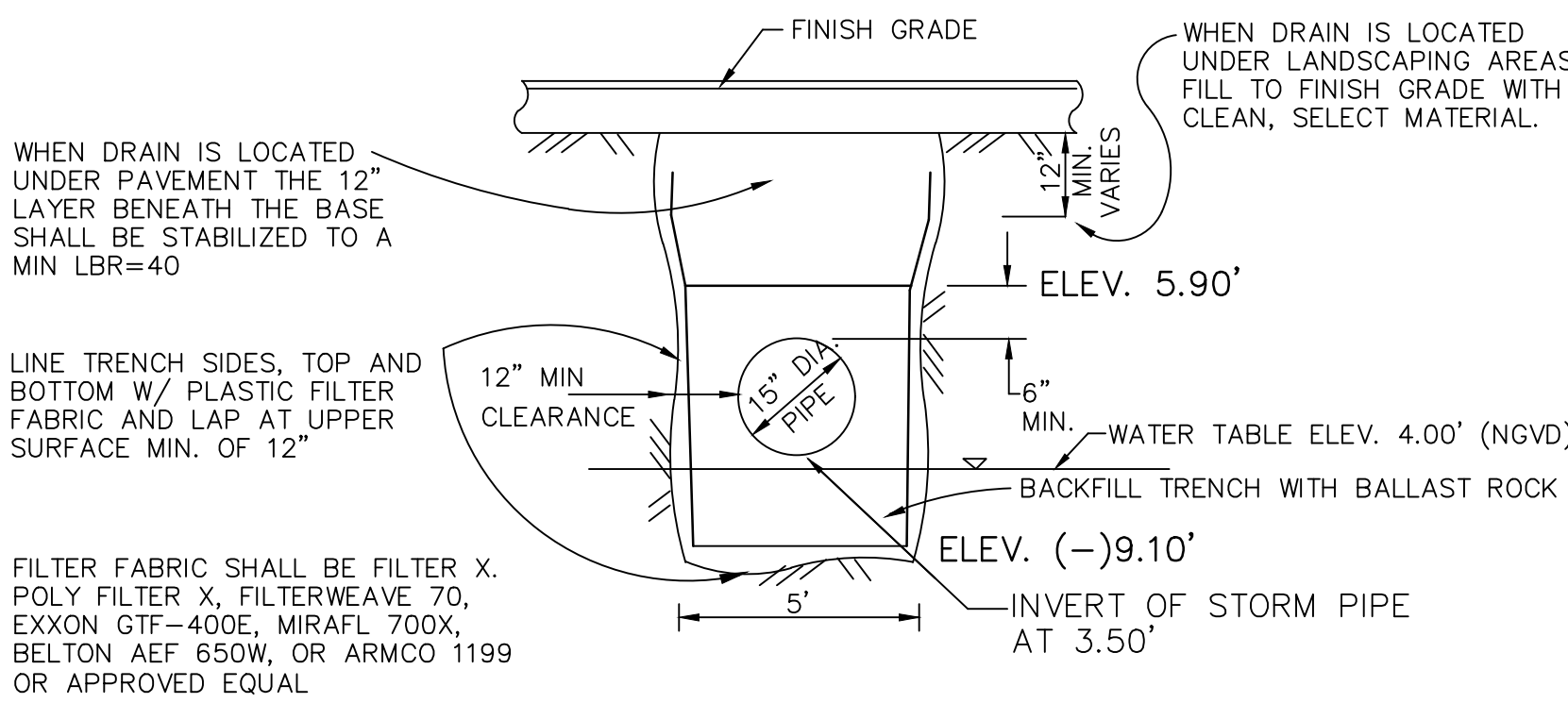
USF #4155  
FRAME AND GRATE  
TO BE INSTALLED ON 60" STRUCTURE



USF #4105  
FRAME AND GRATE  
TO BE INSTALLED ON 42" STRUCTURE

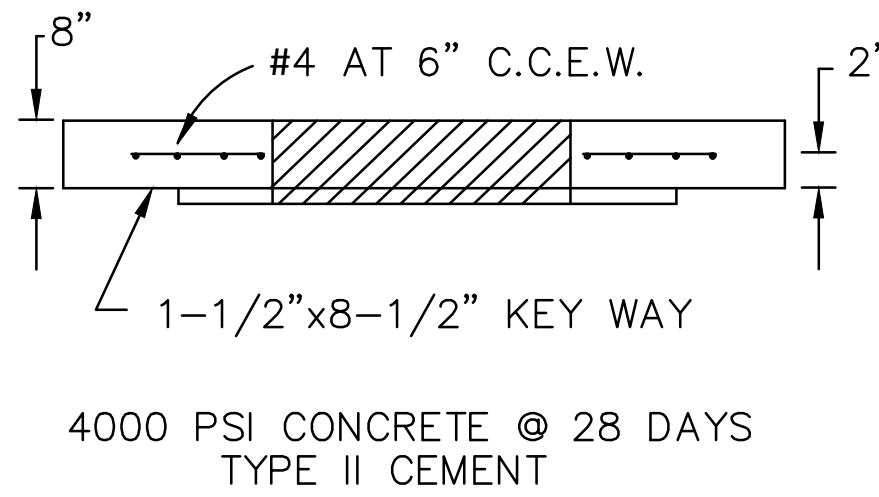
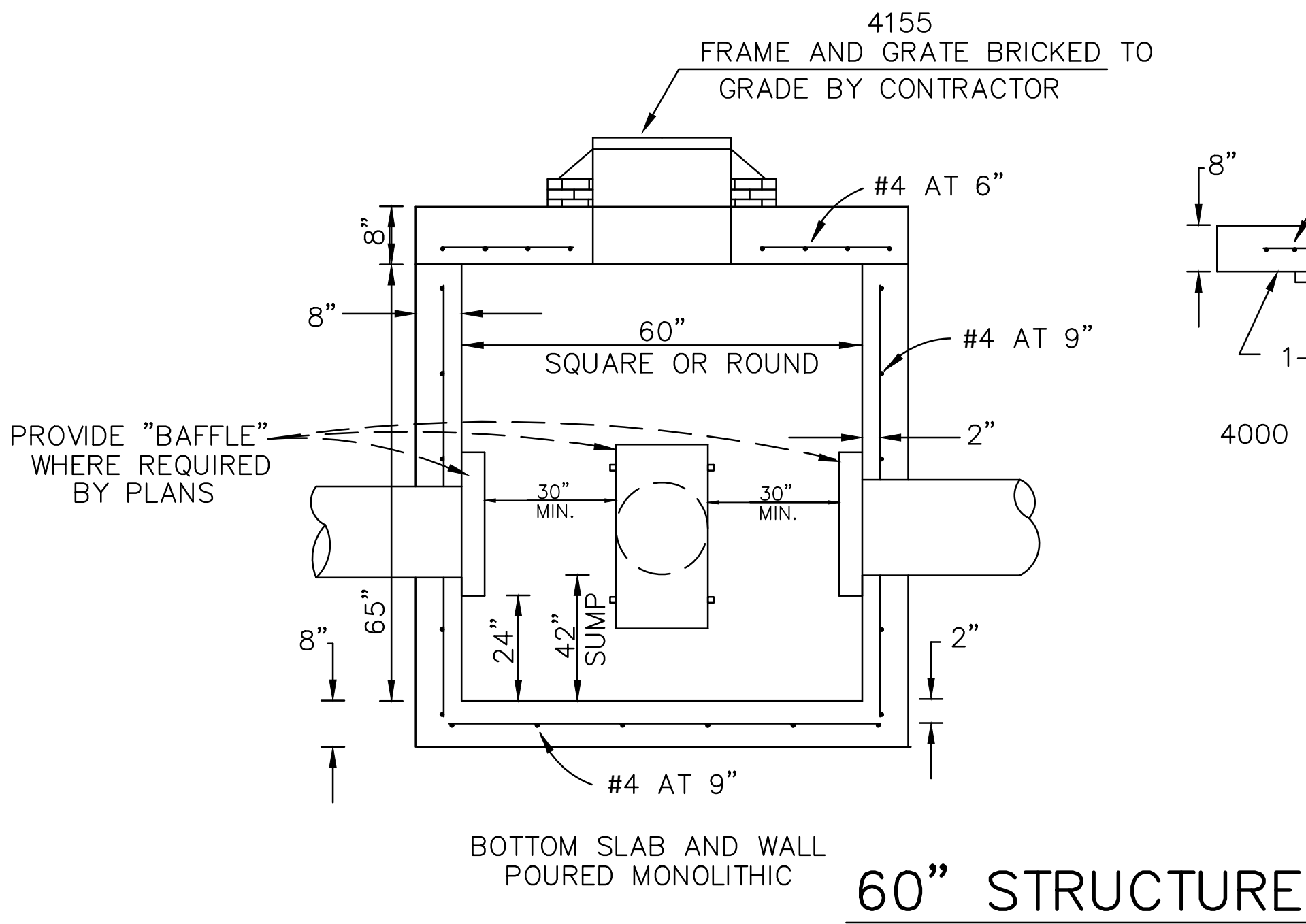


EXFILTRATION TRENCH

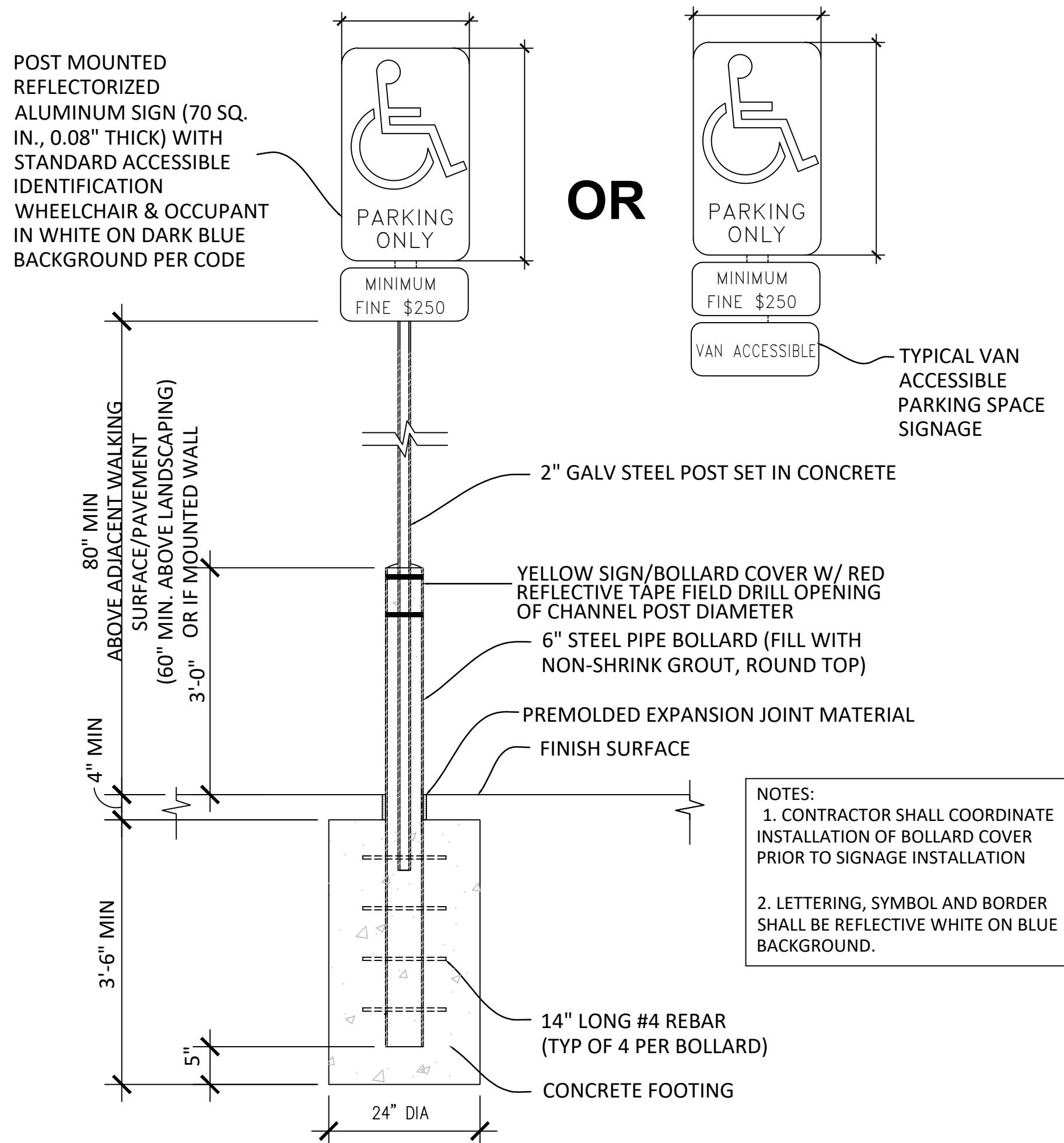
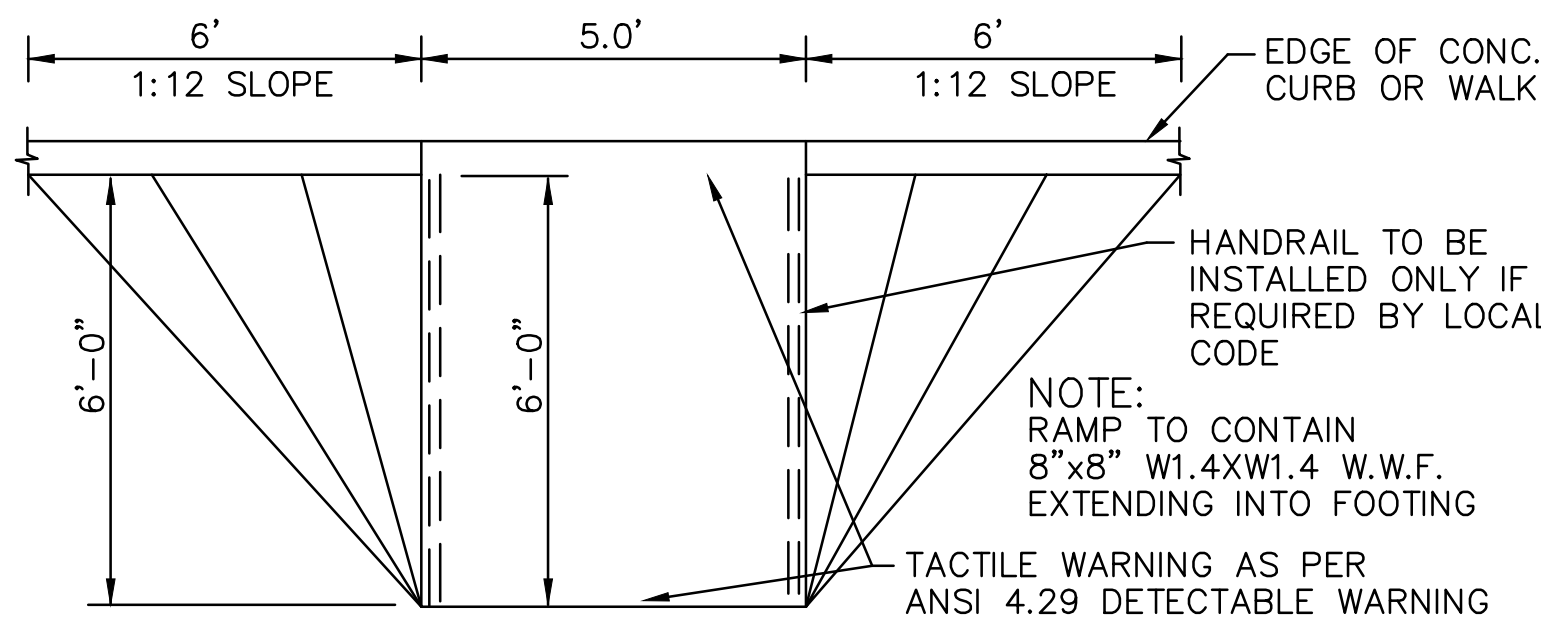
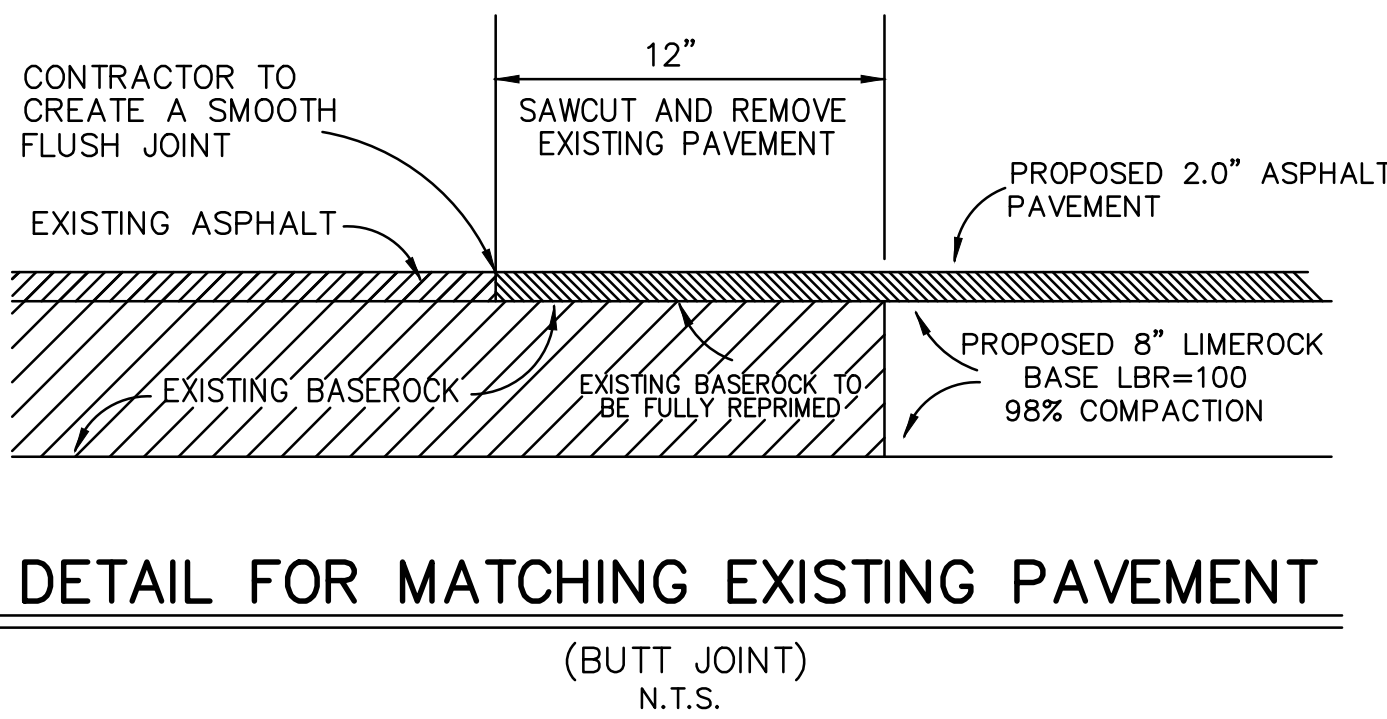
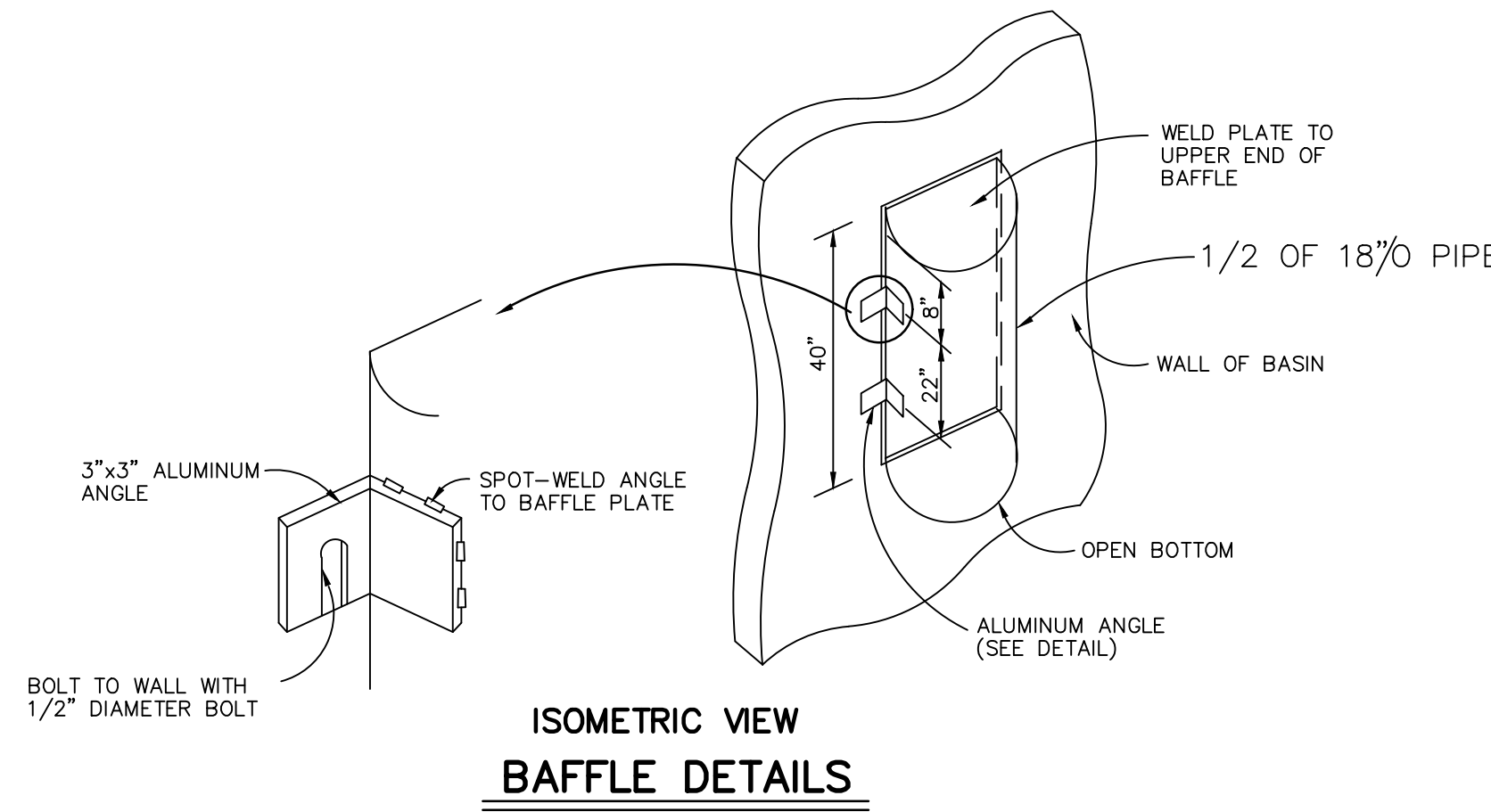


- NOTES:
1. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE AT LEAST 15 FEET DEEP UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
  2. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.

EXFILTRATION TRENCH

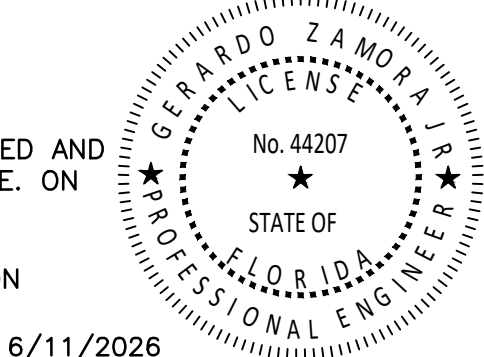


TOP SLAB



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY GERARDO ZAMORA JR. P.E. ON THE DATE ADJACENT TO THE SEAL.

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SEAL:

GERARDO ZAMORA P.E.  
CIVIL ENGINEER  
P.E. No. 44207  
E.B. 0006791  
STATE OF FLORIDA

PROJECT No. 2026-36

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SOUTH MIAMI, FLORIDA 33143 (305) 273-7801

| REVISIONS | BY |
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PROPOSED NEW STOR ALL BUILDING - NORTHWEST 77th CT  
14180 NW 77th CT, MIAMI LAKES, FL 33016  
Phone:(954) 421-7686

|       |          |
|-------|----------|
| Date  | 02/12/26 |
| Scale | AS SHOWN |
| Drawn | JM       |
| Job # | 202504   |
| Sheet | C-3      |
| Of    | Sheets   |

Felix Pardo & Associates, Inc.

Architecture Planning Interiors

2100 Salzedo Street, Suite 303

Coral Gables, Florida 33134

AA0002478

31 March 2026

Town of Miami Lakes

6601 Main Street

Miami Lakes, FL 33014

Planning & Zoning Department

Ms. Susana Alonso, Planning Director

Dear Ms. Alonso

Below please find our notice of intent to build a four story self-storage building in the Town of Miami Lakes. We are requesting the following

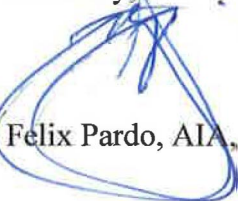
We are requesting a specific site plan approval per Section 13-786 (a) Site Plan Approval. Although the subject property is challenging at best, the property contains an existing overwhelming tall communication tower that encumbers the north portion of the lot complete with a secure chain link fence at the rear. We have managed to use the orientation of our proposed new self-storage building in such a way as to hide the impact of existing obtrusive tower elements.

Also, the Town of Miami Lakes made an additional height restriction a few years ago which was influenced by a poor design of another self-storage building. Our proposed design appears to be an office building of compatible height and will not impact the area with a parking impact burden. In fact, our project would create relief to the existing parking issues in the existing neighborhood because of our proposed use.

The existing neighborhood contains double-story warehouses and up to four story offices in height. Therefore, we are requesting per Section 13-786 (c) a Height Variance of Four Floors in height where Two Floors are currently permitted for the specific use of self-storage. Under the existing IU-C zoning, the height would be permitted without a variance.

Once again, thank you for your consideration.

Sincerely,



Felix Pardo, AIA, ASID, CSI

**MIAMI LAKES ARCHITECTURAL CONTROL COMMITTEE  
FOR COMMERCIAL PROPERTIES  
6843 MAIN STREET - MIAMI LAKES, FLORIDA 33014 (305) 821-1130**

April 6, 2026

Patrick McGowan  
Stor-All Development  
141 SW 1<sup>st</sup> Street  
Deerfield Beach, FL 33441

RE: 14180 NW 77 Court  
Miami Lakes, FL 33016

**To Whom It May Concern:**

The Miami Lakes Architecture Control Committee for Commercial Properties (ACC) has received and reviewed the site plan for the proposed building located at 14180 NW 77 Court, Miami Lakes, FL 33016.

Currently, the ACC is approving the proposed building site plan, elevations, and landscaping according to the specifications outlined below.

**I. Overall Site Plan**

- a. **Parking Count:** Although the parking count does not meet the requirements outlined in the protective covenants, the ACC is making a special exception by waiving this requirement for the proposed building, as long as the parking provided complies with the town code. If the building's use changes in the future, the site must adhere to the town code and may become subject to the covenant based on its new use.
- b. **Open space:** It is understood that the proposed building and open space do not meet the covenant in place, which requires two (2) square feet of land for every one (1) square foot of land occupied by a building. The ACC is making a special exception to waive this requirement. Please note that landscaping is essential and must be maintained to support the aesthetic and green standards of Miami Lakes Business Park West.

**II. Building**

- a. **Paint Colors:** The proposed paint colors are approved as outlined on the provided elevation plans. Please note that the orange accent color is approved only for the building's front awnings and bollards on the southeast elevation. Should the building's colors change in the future, the main facade shall follow a typical office building color palette, and the accent will remain on the awnings.
- b. **Signage:** Drawings must be submitted to the ACC for pre-approval. Enclosed are the building signage guidelines for Miami Lakes Business Park West, which also includes monument signage guidelines.
- c. **Windows:** The building design is approved with the understanding that the windows are purely decorative, and the interior will not be visible from outside through these glass windows.

MIAMI LAKES ARCHITECTURAL CONTROL COMMITTEE  
FOR COMMERCIAL PROPERTIES  
6843 MAIN STREET - MIAMI LAKES, FLORIDA 33014 - (305) 821-1130

III. Landscaping

- a. The proposed landscaping plan is approved. The ACC requests that once specimen trees and plants have been confirmed, please provide an updated landscape plan for our records.

Thank you for your cooperation in maintaining the high standards established in Miami Lakes. Approval by the Committee in no way relieves the Applicant from the responsibility of obtaining a valid Town of Miami Lakes Building and Zoning permits required through the standard Town of Miami Lakes procedures. It is understood that the lot owner will request a variance from the Town of Miami Lakes for the proposed building height (four stories).

Please be reminded that any additional or future changes to the future exterior of the building and grounds must be submitted to the Miami Lakes® Architectural Control Committee for Commercial Properties for their review and approval prior to pulling a permit from the Town of Miami Lakes and/or commencement of the work. This shall include exterior paint colors, landscaping, and signage. Compliance with all Town of Miami Lakes regulations is also required for this or any future projects on the property.

If you should have any questions, please feel free to contact the Committee at 305.817.4050.

Sincerely,  
Miami Lakes Architectural Control Committee

  
Andrea G. Rechichi  
Chair